



MEMORANDUM

Date: 01-22-2025

To: Honorable Board of County Commissioners

From: Jenny Shao, Planner
(Exhibit 1 - Professional Qualifications)

Subject: PFP-23-05-02 Bond Reduction and First Amendment to the Developer's Agreement for Babcock Ranch Community Crescent Lakes Phase 2

Request:

On behalf of Meritage Homes of Florida, Inc., Barraco and Associates, Inc. is requesting a Bond Reduction and First Amendment to Developer's Agreement to reduce the amount of the approved surety provided under Bond No. 024268032, issued by Liberty Mutual Insurance Company, in the amount of \$2,557,203.06 to \$268,681.05 for the completion of the remaining infrastructure for Babcock Ranch Community Crescent Lakes Phase 2. The subdivision, consisting of 173 single-family lots and three tracts, was granted Final Plat approval by the Board of County Commissioners on October 24, 2023 (See Attachment 1). This site contains 39.78± acres and is generally located south of Bermont Road, north of the County line with Lee County, west of the County line with Glades County and east of Bluebird Trail. The site is within the boundary of the Babcock Ranch Community Development of Regional Impact (DRI) Increment 2, the East County area, and in Commission District I.

Analysis and Background:

At the time of Preliminary and Final Plat application, the applicant was granted approval of a Developer's Agreement (See Attachment 2) and surety in the amount of \$2,557,203.06, to ensure the completion of the plat infrastructure. Since then, a significant portion of the plat construction has been completed. The Babcock Ranch Community Independent Special District (BRCISD) District Engineer completed a limited review of the remaining improvements associated with the subdivision project and has provided acknowledgement that the improvements noted are consistent with the construction completed and that the remaining improvements noted have been field verified and are consistent with the quantities represented within the reduction estimate (See Attachment 3). The Project Engineer has submitted this First Amendment to the Developer's Agreement (See Attachment 4) and Bond Reduction request (See Attachment 5) for

the new Engineer's Estimate of Probable Construction Cost (+10%), along with the utility record drawings (See Attachment 6), reducing the remaining cost to \$268,681.05.

The County Engineer has found the new bond amount sufficient for completion of the project (See Attachment 7).

Recommendation:

Community Development recommends approval of the requested First Amendment to the Developer's Agreement and Bond Reduction under Petition **PFP-23-05-02**.

Exhibit 1
Professional Qualifications



Qualifications of Jenny Shao

Position: Planner

Time with Charlotte County: 3 years

Position Summary & Experience: I have worked as an Administrative Assistant II, Zoning Tech, Project Coordinator and Zoning Coordinator for Charlotte County Human Services and Community Development Departments for 3 years. My duties include administrative tasks, customer service, data entry, reviewing and processing permits, Plats, Vacations and Land Splits for compliance with Charlotte County Land Development regulations. Furthermore, I coordinate and compile the comments and conditions of the reviewing departments and agencies into the final recommendation to the Planning and Zoning Board and the Board of County Commissioners for the above applications. My education consists of a Bachelor of Arts in International Studies and East Asian Studies, graduating Cum Laude from University of Miami in Spring 2020.

Exhibit 1

Attachment 1

PFP-23-05-02 Decision Letter



November 14, 2023

Meritage Homes of Florida, Inc.
1395 University Boulevard
Suite 300
Jupiter, FL 33458

Via Email: Michael.DAmelio@meritagehomes.com

Dear Applicant:

This letter is to confirm the decision of the Charlotte County Board of County Commissioners at their meeting held **October 24, 2023, at 2:00 P.M.**, regarding the following petition:

PFP-23-05-02

Quasi-judicial

Commission District I

Meritage Homes of Florida, Inc. is requesting Preliminary and Final Plat approval for a subdivision to be named Babcock Ranch Community Crescent Lakes Phase 2. They also seek approval of a Developer's Agreement and surety to cover the construction of the plat infrastructure. The proposed subdivision, consisting of 173 single-family lots and three tracts with supporting utility, roadway, and stormwater infrastructure, is the second phase of the Crescent Lakes subdivision. The property contains 39.78± acres and is generally located south of Bermont Road, north of the County line with Lee County, west of the County line with Glades County and east of Bluebird Trail. The site is within the boundary of the Babcock Ranch Community Development of Regional Impact (DRI) Increment 2, the East County area, and in Commission District I.

It was the decision of the Charlotte County Board of County Commissioners that Petition **PFP-23-05-02** be approved. The plat was recorded on November 3, 2023, under **INSTR #: 3334472** in **Plat Book 27 Pages 6A through 6H**, and the Development Agreement Resolution was recorded on November 3, 2023, under **INSTR #: 3334473** of the Public Records of Charlotte County, Florida.

This letter also serves as your Certificate of Concurrence for the purpose of School Concurrence.

Please feel free to contact our office should you have any questions.

Sincerely,

Jenny Shao, Project Coordinator
Community Development Department



CC: Carl A. Barraco, Jr., P.E., Barraco and Associates, Inc.

Dawn Anspach, CAO

Karen Benak, CAO

Kelly Danielson, CCU

Denise Elliott, CCU

Kathleen Duffy, IT GIS

Christine Broughman, MSBU

Faith Dangerfield, Property Appraiser's Office

Matthew Parkman, Property Appraiser's Office

Samantha DiPiazza, SPD-Addressing

Tom Finnerty, SPD

Jeannine Fullerton, Real Estate Services

Stephen Kipa, Real Estate Services

Patty Stefan, Real Estate Services

Robert Fakhri, Transportation

Ravi Kamarajugadda, Transportation

Maryann Franks, Zoning

Jeff Harvey, CCPS

Tracey Roberts, CCPS

Attachment 2
Recorded Developer's Agreement for PFP-23-05-02

This instrument prepared by:
Williams Parker Harrison Dietz & Getzen
50 Central Avenue, Eighth Floor
Sarasota, Florida 34236
(941) 366-4800
Attn: Kyle D. Elliott, Esq.

DEVELOPER'S AGREEMENT

THIS DEVELOPER'S AGREEMENT ("Agreement") is made this 24th day of October, 2023, by and between CHARLOTTE COUNTY, a political subdivision of the State of Florida, herein called "County", and Meritage Homes of Florida, Inc., with an address of 1395 University Boulevard, Suite 300, Jupiter, FL. 33458 herein called "Developer".

WITNESSETH

WHEREAS, Owner/Developer is the fee simple owner of the lands described in Exhibit "A," attached hereto and incorporated herein by reference (hereinafter, "Property"); and

WHEREAS, Developer intends to subdivide the Property and develop a project under the name of Babcock Ranch Community Crescent Lakes Phase 2 and cause a plat of the same name to be recorded in the Public Records of Charlotte County, Florida (the "Plat"); and

WHEREAS, the Plat is identified in Charlotte County Community Development Department Files as #PFP-23-05-02; and

WHEREAS, Developer is required to construct certain improvements within the Property in accordance with County Standards, and construction plans and specifications approved by the County; and

WHEREAS, Developer submitted plans prepared by Barraco and Associates, Inc., dated February 22, 2022 for final construction plan approval (hereinafter, "Plans"). The Plans were approved by County on December 12, 2022 under DRC-22-00192. The Plans depict certain subdivision improvements which must be required to be constructed prior to receiving certificates of occupancy for structures to be constructed on the Property; and

WHEREAS, Developer and County desire to enter into this Agreement, with the consent of Owner, to set forth certain obligations by the Developer and County in connection with the construction of the improvements; and

WHEREAS, the intent of this Agreement is to provide the required financial assurances for the construction of the improvements pursuant to the provisions of 3-7-65 of the Charlotte County Code of Laws and Ordinances and is not intended to be construed as a development agreement under Chapter 163.3221, Florida Statutes.

NOW THEREFORE, in consideration of their respective undertakings hereunder, County and Developer agree as follows:

1. The foregoing recitals are true and correct and incorporated herein by this reference.
2. Developer agrees to complete the subdivision improvements shown on the Plans. Developer is required to construct the improvements as set forth in the Engineer's Probable Cost Estimate dated May 22, 2023, according to the sound engineering standards and County Subdivision Regulations, and according to the engineering plans and specifications submitted by the Developer to the County, as approved by the County.
3. In order to guarantee Developer's adherence to the obligations under this Agreement, Developer has provided a bond in an amount of \$2,557,203.06 (hereinafter, the "Security") to ensure completion of those subdivision improvements depicted on the approved Plans which have not, to date, been certified as complete.
4. Said Security shall remain in effect until final approval of the improvements by the County. Any reduction of the Security shall follow Charlotte County policy and Developer will be required to provide the applicable fee along with the record drawings and recommendation signed and sealed by the engineer of record. The reduction of the Security must be approved by the County prior to Developer reducing the Security amount.
5. All improvements as shown on the Plans must be completed per the approved Plans to the satisfaction of the County Engineer no later than two (2) years after the date that the Plat is recorded in the Public Records of Charlotte County, Florida. If the work is not completed within two (2) years, the County Engineer shall have right to review the surety amount, and if deemed insufficient, Developer may be required to provide additional surety and execute an amendment to this Agreement to reflect the increased surety. Said amendment shall be recorded in the same manner as this Agreement.
6. If the subdivision improvements depicted in the Plans are not completed as provided herein, or if the County receives notification from the institution issuing the Security that the Security will expire prior to the specified time period stated herein, it is expressly understood and acknowledged by the Parties that:
 - (a) Notwithstanding any notice and cure requirements in this Agreement, the County may, at its sole and absolute discretion, request and/or utilize the outstanding amount of the Security.
 - (b) In the event of litigation, no party, including but not limited to the Owner, Developer, future lot owners, successors and assigns, is entitled to an offset of damages in an amount equal to the Security.
7. There are no intended third party beneficiaries to this Agreement, therefore, no third parties may rely upon on this Agreement and/or the Security, including but not limited to future lot owners or their successors and assigns.
8. Nothing herein shall be construed to create an obligation upon the County, under Section 177.081, Florida Statutes, to voluntarily assume an obligation to perform any act of construction or maintenance under this Agreement and/or the Security.
9. County's consent, approval and acknowledgement herein granted shall not limit the County's right to approve or deny other development on the Property as provided by all laws, rules and regulations applicable to the Property.

10. Upon certification by a licensed engineer that the subdivision improvements have been completed in substantial compliance with the Plans and the terms of this Agreement have been met, or upon replacement of the Security and execution of a new development agreement by a subsequent developer, County shall release the Security and this Agreement shall terminate.

11. This Agreement shall inure to the benefit of and be obligatory upon the Parties and their respective successors, assigns, heirs and personal representatives.

12. The terms of this Agreement have been jointly drafted by the Parties; therefore, in construing this Agreement no legal presumptions shall arise against either Party as the drafter of the Agreement.

13. The invalidity or unenforceability of any one or more provisions of this Agreement shall not affect the validity or enforceability of the remaining portions of this Developer's Agreement, or any part of this Agreement not held to be invalid or unenforceable.

14. This Agreement may be executed in counterparts, each of which shall constitute an original, but all taken together shall constitute one and the same Developer's Agreement.

15. This Agreement shall be governed by and construed in accordance with the laws of the State of Florida. Venue for any proceeding brought hereunder shall be Charlotte County, Florida.

IN WITNESS WHEREOF, County and Developer have executed this Developer's Agreement on the date first above written.

CHARLOTTE COUNTY, a political
Subdivision of the State of Florida

By: William L. Treadwell, Chair

Attest:

Roger D. Eaton, Clerk of the Circuit
Court and Ex-officio Clerk of the Board
Of County Commissioners

By: Roger D. Eaton
Deputy Clerk
ACR 003-193

Approved as to form and legal sufficiency:

By: Janette S. Knowlton
Janette S. Knowlton
County Attorney
LR23-0577

[Signature]
1st Witness Signature

Michael D'Amelio
1st Witness Printed Name

[Signature]
2nd Witness Signature

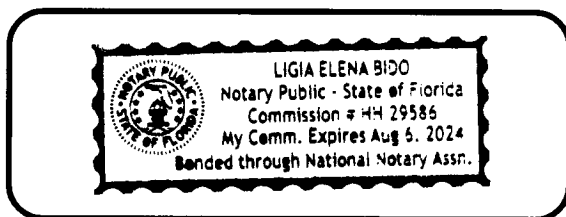
Ian C. Lord
2nd Witness Printed Name

Meritage Homes of Florida, Inc.,
1395 University Boulevard
Suite 300
Jupiter, FL 33458

By: [Signature]
Name: JOSEPH KATZMAN
Title: Vice President - Operations

STATE OF FLORIDA
COUNTY OF Florida

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 13 day of July, 2023, by Joseph Katzman, as VP-Operations of Meritage Homes of Florida, Inc., on behalf of the same. He ☒ is personally known to me, or ☐ produced _____ as identification and did not take an oath.



Notary Stamp

[Signature]
Signature of Notary
Ligia Elena Bido
Print Name of Notary

My Commission Expires: Aug 6, 2024

EXHIBIT A
(Legal Description)

A tract or parcel of land being all of TRACT F of the record plat "BABCOCK RANCH COMMUNITY CRESCENT LAKES PHASE 1" recorded in Plat Book 26, Page 14A through 14O, of the Public Records of Charlotte County, Florida, lying in Section 28, Township 42 South, Range 26 East, Charlotte County, Florida, said tract or parcel of land being more particularly described as follows:

BEGINNING at the Easterly Most corner of TRACT B-62 of said record plat run along the Westerly, Northerly, Easterly and Southerly line of said TRACT F the following courses: Northeasterly along an arc of a curve to the left of radius 30.00 feet (delta 89°30'09") (chord bearing N59°12'50"E) (chord 42.24 feet) for 46.86 feet to a point of tangency; N14°27'46"E for 141.21 feet to a point of curvature; Northerly along an arc of a curve to the left of radius 573.00 feet (delta 14°54'26") (chord bearing N07°00'33"E) (chord 148.66 feet) for 149.08 feet to a point of tangency; N00°26'40"W for 261.03 feet to a point of curvature; Northerly along an arc of a curve to the right of radius 927.00 feet (delta 15°28'38") (chord bearing N07°17'39"E) (chord 249.65 feet) for 250.41 feet to a point of reverse curvature; Northerly along an arc of a curve to the left of radius 30.00 feet (delta 70°15'59") (chord bearing N20°06'02"W) (chord 34.53 feet) for 36.79 feet; N34°45'59"E along a radial line for 21.58 feet; S72°15'04"E for 165.83 feet; S17°44'56"W for 3.97 feet; S72°15'04"E for 50.00 feet to a point designated as POINT "A"; N17°44'56"E for 119.53 feet to a point of curvature; Northeasterly along an arc of a curve to the right of radius 20.00 feet (delta 90°00'00") (chord bearing N62°44'56"E) (chord 28.28 feet) for 31.42 feet; N17°44'56"E along a radial line for 50.00 feet to a point on a radial curve; Northwestery along an arc of a curve to the right of radius 20.00 feet (delta 90°00'00") (chord bearing N27°15'04"W) (chord 28.28 feet) for 31.42 feet to a point of tangency; N17°44'56"E for 110.83 feet to a point designated as POINT "B"; N72°15'04"W for 235.73 feet; N13°50'00"E for 19.87 feet to a point on a radial curve; Easterly along an arc of a curve to the right of radius 577.00 feet (delta 00°40'31") (chord bearing S75°49'45"E) (chord 6.80 feet) for 6.80 feet to a point of reverse curvature; Northeasterly along an arc of a curve to the left of radius 30.00 feet (delta 86°45'34") (chord bearing N61°07'43"E) (chord 41.21 feet) for 45.43 feet to a point of tangency; N17°44'56"E for 32.72 feet to a point of curvature; Northerly along an arc of a curve to the left of radius 573.00 feet (delta 12°26'25") (chord bearing N11°31'44"E) (chord 124.17 feet) for 124.41 feet to a point of tangency; N05°18'31"E for 326.86 feet to a point of curvature; Northwestery along an arc of a curve to the left of radius 30.00 feet (delta 90°00'00") (chord bearing N39°41'29"W) (chord 42.43 feet) for 47.12 feet; N05°18'31"E along a radial line for 50.00 feet; S84°41'29"E for 1,389.40 feet to a point on a non-tangent curve; Southwestery along an arc of a curve to the left of radius 290.00 feet (delta 45°47'39") (chord bearing S32°32'02"W) (chord 225.66 feet) for 231.79 feet to a point of tangency; S09°38'13"W for 81.70 feet; S20°33'43"W for 402.65 feet to a point of curvature; Southwestery along an arc of a curve to the right of radius 210.00 feet (delta 27°31'12") (chord bearing S34°19'19"W) (chord 99.90 feet) for 100.87 feet to a point of tangency; S48°04'55"W for 228.85 feet to a point of curvature; Southerly along an arc of a curve to the left of radius 290.00 feet (delta 52°31'31") (chord bearing S21°49'09"W) (chord 256.64 feet) for 265.85 feet to a point of tangency; S04°26'36"E for 686.22 feet to a point on a non-tangent curve; Westerly along an arc of a curve to the right of radius 2,910.00 feet (delta 17°27'36") (chord bearing N85°19'10"W) (chord 883.35 feet) for 886.78 feet to a point of compound curvature; Westerly along an arc of a curve to the right of radius 3,578.46 feet (delta 01°32'14") (chord bearing N75°49'15"W) (chord

96.01 feet) for 96.02 feet to a point of reverse curvature; Westerly along an arc of a curve to the left of radius 18,478.35 feet (delta 00°30'32") (chord bearing N75°18'24"W) (chord 164.15 feet) for 164.15 feet and N14°26'20"E along a non-tangent line for 27.42 feet to the POINT OF BEGINNING. Containing 46.43 acres, more or less.

LESS AND EXCEPT THE FOLLOWING TRACTS D-109 and D-110 OF SAID RECORD PLAT:

TRACT D-109:

COMMENCING at said POINT "B" run N89°08'36"E for 160.38 feet to a point on a non-tangent curve and the POINT OF BEGINNING.

From said Point of Beginning run along the Southerly, Easterly, Northerly and Westerly line of said TRACT D-109 the following courses: Southeasterly along an arc of a curve to the left of radius 30.00 feet (delta 90°00'00") (chord bearing S27°15'04"E) (chord 42.43 feet) for 47.12 feet to a point of tangency; S72°15'04"E for 120.13 feet to a point of curvature; Northeasterly along an arc of a curve to the left of radius 323.00 feet (delta 90°29'06") (chord bearing N62°30'23"E) (chord 458.72 feet) for 510.10 feet to a point of tangency; N17°15'50"E for 46.49 feet to a point of curvature; Northwesterly along an arc of a curve to the left of radius 30.00 feet (delta 101°57'19") (chord bearing N33°42'50"W) (chord 46.61 feet) for 53.38 feet to a point of tangency; N84°41'29"W for 447.42 feet to a point of curvature; Southwesterly along an arc of a curve to the left of radius 30.00 feet (delta 90°28'15") (chord bearing S50°04'24"W) (chord 42.60 feet) for 47.37 feet to a point of reverse curvature; Southerly along an arc of a curve to the right of radius 927.00 feet (delta 12°54'40") (chord bearing S11°17'36"W) (chord 208.45 feet) for 208.89 feet to a point of tangency and S17°44'56"W for 31.75 feet to the POINT OF BEGINNING. Containing 3.41 acres, more or less.

TRACT D-110:

COMMENCING at said POINT "A" run S56°00'03"E for 160.15 feet a point on a non-tangent curve and the POINT OF BEGINNING.

From said Point of Beginning run along the Westerly, Southerly, Easterly, and Northerly line of said TRACT D-110 the following courses: Southerly along an arc of a curve to the left of radius 573.00 feet (delta 13°42'27") (chord bearing S06°24'34"W) (chord 136.76 feet) for 137.09 feet to a point of tangency; S00°26'40"E for 307.15 feet to a point of curvature; Southeasterly along an arc of a curve to the left of radius 30.00 feet (delta 79°20'51") (chord bearing S40°07'05"E) (chord 38.30 feet) for 41.55 feet to a point of compound curvature; Easterly along an arc of a curve to the left of radius 2,546.00 feet (delta 05°45'26") (chord bearing S82°40'14"E) (chord 255.72 feet) for 255.83 feet to a point of compound curvature; Northeasterly along an arc of a curve to the left of radius 30.00 feet (delta 98°53'39") (chord bearing N45°00'14"E) (chord 45.59 feet) for 51.78 feet to a point of tangency; N04°26'36"W for 410.17 feet to a point of curvature; Northwesterly along an arc of a curve to the left of radius 30.00 feet (delta 75°39'19") (chord bearing N42°16'15"W) (chord 36.80 feet) for 39.61 feet to a point of reverse curvature; Westerly along an arc of a curve to the right of radius 677.00 feet (delta 07°50'51") (chord bearing N76°10'29"W) (chord 92.65 feet) for 92.73 feet to a point of tangency; N72°15'04"W for 118.46 feet to a point of curvature and Southwesterly along an arc of a curve to the left of radius 30.00 feet (delta 94°29'09") (chord bearing S60°30'22"W) (chord 44.05 feet) for 49.47 feet to the POINT OF BEGINNING. Containing 3.24 acres, more or less.

TRACT F contains 39.78 acres, more or less.

Bearings hereinabove mentioned are State Plane for the Florida West Zone (NAD1983)(NSRS 2011) and are based on the Northerly line of TRACT F to bear S84°41'29"E.

Attachment 3

BRCISD District Engineer Bond Reduction Acknowledgement Letter



BABCOCK RANCH
COMMUNITY INDEPENDENT
SPECIAL DISTRICT

42911 Lake Babcock Dr, Babcock Ranch, FL 33982
Phone: (941) 676-7191 | [Email](#) | [ISD Website](#) | [ACA Portal](#)

November 7, 2024

Carl Barraco, P.E.
Barraco and Associates, Inc.
2271 McGregor Blvd, Suite 100
Fort Myers, FL 33901

RE: BRC ISD BOND APPROVAL LETTER
Record ID #: D02-0002
Record ID Name: Village II Parcel 3 (Crescent Lakes)
County: Charlotte
Phase, Sub-Phase: Phase 2
Owner: Meritage Homes of Florida, Inc

Dear Mr. Barraco:

The BRCISD District Engineer has completed a limited review of the remaining improvements associated with the above referenced project and phase. In the provided Engineer's Opinion of Probable Costs for remaining improvements within this phase, it is the opinion of the District Engineer that those improvements noted are consistent with the construction completed and the remaining outstanding items.

The remaining improvements noted have been field verified and are consistent with the quantities represented within the reduction estimate. The cost of remaining improvements is consistent with the unit prices that were approved in the original bond issuance.

This letter only constitutes the District Engineer's limited review and visual observation of the site conditions and remaining improvements. Remaining approvals for release of funds are required from Charlotte County and are not the responsibility of authority of the BRCISD.

Sincerely,

Sina Ebrahimi, PE
ISD District Engineer: Kimley-Horn and Associates, Inc.

cc: brcisdengineer@babcockranchcommunityisd.com

Attachment 4

Proposed First Amendment to the Developer's Agreement

Attachment 5

**Applicant's Request for a Bond Reduction and
Amendment to the Developer's Agreement**

October 14, 2024

Ms. Jenny Shao
Charlotte County Community Development
18400 Murdock Circle
Port Charlotte, FL. 33948

Re: Babcock Ranch Community Crescent Lakes Phase 2 (DRC-22-00192; PFP-23-05-02)
Bond Reduction Request

Dear Ms. Shao:

On behalf of our client, Meritage Homes of Florida, Inc., please accept this letter as formal request to reduce the Crescent Lakes at Babcock Ranch Phase 2 performance bond, Liberty Mutual Insurance Company in the amount of \$2,557,203.06, based on the information enclosed.

At this time, construction of the Crescent Lakes Phase 2 subdivision improvements have been substantially completed with the exception of the roadway curbing and final lift of asphalt.

A new Engineer's Estimate of Probable Cost for this work, including a 10% bonding amount, is attached. Also enclosed is the amended Developer's Agreement that reflects the new bond amount of \$268,681.05 along with the final certifications and record drawings.

The original amended performance bond rider in the amount of \$268,681.05 will be submitted under separate cover once the BCC approves this request.

Thank you for your consideration and if you should have any questions or require additional information, please advise.

Very truly yours,
BARRACO AND ASSOCIATES, INC.



Carl A. Barraco, Jr., P.E.
Florida Registration No. 81259
Project Engineer
Florida Certificate of Authorization #7995

(Seal)

Cc: Ashley Butler

Attachment 6
Utility Record Drawings

UTILITY RECORD DRAWINGS
FOR
CRESCENT LAKES
AT BABCOCK RANCH
PHASE 2

RECORD DRAWING

PART OF SECTION 28, TOWNSHIP 42 SOUTH, RANGE 26 EAST
PUNTA GORDA, FLORIDA

PROJECT DATA

SITE ADDRESS PUNTA GORDA, FL 33982	PROJECT DATUM STATE PLANE FLORIDA WEST ZONE NAD 1983 (NSRS2011) NORTH AMERICAN VERTICAL DATUM (NAVD) 1988
ZONING BOZD	RECORD PLAT INSTRUMENT NO. 3334472
FLOOD ZONE ACCORDING TO F.I.R.M. (FLOOD INSURANCE RATE MAP) NO. 12015C0500G, MAP REVISED: DECEMBER 15, 2022, THE PROPERTY IS IN FLOOD ZONE AE (27.5 NAVD88) AND FLOOD ZONE X	STRAP NUMBERS 422628100001

PERMIT REQUIREMENTS

AGENCY	STATUS	NOTES
S. FLORIDA WATER MANAGEMENT DISTRICT	APPROVED	220225-33354
CHARLOTTE COUNTY DRC	APPROVED	DRC-22-00192
B.R.C.I.S.D. SITE PLAN	APPROVED	D02-0002
FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION	APPROVED	294514-038-DSGP/02
FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION	APPROVED	337010-047-DWC/CG
F.D.O.T. CONNECTION PERMIT	N/A	-
F.D.O.T. DRAINAGE CONNECTION PERMIT	N/A	-
F.D.O.T. UTILITY PERMIT	N/A	-
ARMY CORPS OF ENGINEERS	N/A	-
F.D.E.P. NOTICE OF INTENT	N/A	-

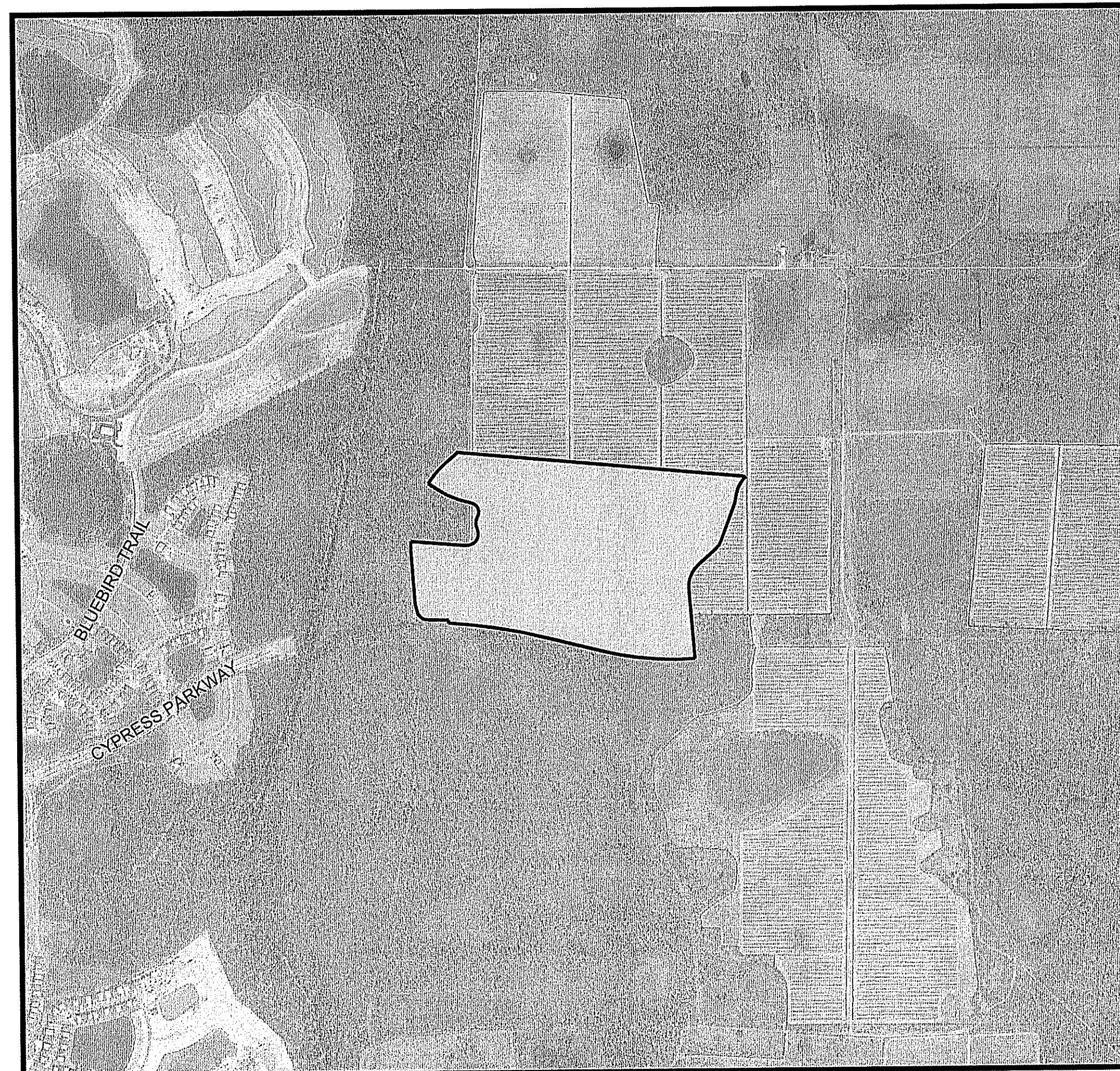
NOTE: CONTRACTOR MUST OBTAIN AND KEEP ON FILE A COPY OF ALL PERMITS
REQUIRED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY

DESIGN TEAM

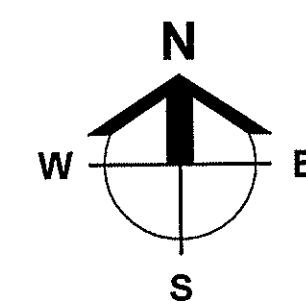
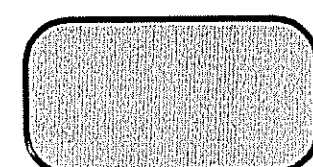
PROJECT ENGINEER CARL A. BARRACO, JR., P.E.	PROJECT MANAGEMENT STEVE COLEMAN
DESIGN ENGINEER VINNIE O. BARRACO, JR., E.I.	PROJECT SURVEYOR SCOTT A. WHEELER, PSM
LEAD DESIGN TECHNICIAN JOHN W. HAHN, JR.	SITE PLANNING JENNIFER SAPEN, AICP
DESIGN STAFF	LAND PLANNING
QUALITY CONTROL STEVE COLEMAN	RECORD DRAWINGS W. PEYTON GAUSE, III

THESE PLANS MAY HAVE BEEN MODIFIED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

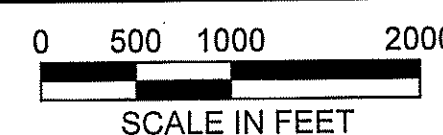
ALL DIMENSIONS ARE IN FEET.



PROJECT
LOCATION



LOCATION MAP



INDEX OF DRAWINGS			
ENGINEER OF RECORDS SIGNATURE AND SEAL APPLY TO THE FOLLOWING PLAN SHEETS, EXCLUDING ANY SUPPLEMENTS:			
SHEET	DESCRIPTION	XREF	DRAWING NAME
1.0	COVER SHEET AND LOCATION MAP	B,D	24012A01.DWG
2.0	STANDARD NOTES, LEGEND, AND ABBREVIATIONS	-	24012A02.DWG
2.1	ZONING AND DEVELOPMENT STANDARDS PLAN	-	24012A06.DWG
3.0	AERIAL PHOTOGRAPH AND EXISTING CONDITIONS PLAN	B,D	24012A07.DWG
4.0	MASTER SITE AND PHASING PLAN	A,B,C	24012A10.DWG
4.1	AMENITY DETAILED SITE PLAN	A,B,C	24012A10B.DWG
5.0	MASTER DRAINAGE PLAN	A,B,C	24012A11.DWG
6.0	MASTER UTILITY PLAN	A,B,C	24012A12.DWG
7.0-7.8	DETAILED PAVING, GRADING, AND DRAINAGE PLANS	A,B,C	24012A15.DWG
8.0-8.1	TYPICAL SECTIONS	-	24012A16.DWG
9.0	PLAN AND PROFILE KEY SHEET	A,B,C	24012A29.DWG
10.0-10.2	PLAN AND PROFILES - SETTLERS WAY (STA. 1000)	A,B,C	24012A30A.DWG
11.0-11.5	PLAN AND PROFILES - FRONTIER DRIVE (STA. 200)	A,B,C	24012A30B.DWG
12.0-12.1	PLAN AND PROFILES - SADDLEWOOD COURT (STA. 300)	A,B,C	24012A30C.DWG
13.0	PLAN AND PROFILES - TIMBERLAND TERRACE (STA. 400)	A,B,C	24012A30D.DWG
14.0	PLAN AND PROFILES - MARGH LANE (STA. 500)	A,B,C	24012A30E.DWG
15.0	PLAN AND PROFILES - EXPEDITION COURT (STA. 600)	A,B,C	24012A30F.DWG
16.0-16.2	PLAN AND PROFILES - SEVEN LAKES AVENUE (STA. 700)	A,B,C	24012A30G.DWG
17.0	PLAN AND PROFILES - DIAMOND TRAIL (STA. 800)	A,B,C	24012A30H.DWG
18.0-18.1	PLAN AND PROFILES - WAGGONER STREET (STA. 900)	A,B,C	24012A30I.DWG
19.0-19.1	PLAN AND PROFILES - CABLE CREEK DRIVE (STA. 1000)	A,B,C	24012A30J.DWG
20.0	PLAN AND PROFILES - LIFT STATION #1 (STA. 1100)	A,B,C	24012A30K.DWG
21.0-21.1	TYPICAL CONSTRUCTION DETAILS	-	24012A44.DWG
22.0	EROSION CONTROL DETAILS	-	24012A50.DWG
23.0	STORMWATER POLLUTION PREVENTION PLAN	A,B,C	24012A52.DWG
24.0-24.4	UTILITY DETAILS	-	24012A70.DWG
25.0-25.3	LIFT STATION #2200 DETAILS	-	24012A72.DWG

CROSS-REFERENCED DRAWINGS:

XREF	DESCRIPTION	DRAWING NAME
A	BASE LINEWORK PLAN & PROFILE	24012A00.DWG
B	SURVEY LINEWORK	23756S00.DWG
C	PLAT LINEWORK	24012P00.DWG
D	AERIAL PHOTOGRAPH	24012_IMAGE.JPEG

RECORD DRAWINGS
CERTIFICATION BY ENGINEER

THESE RECORD DRAWINGS (FOR UTILITIES ONLY) ARE
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FEBRUARY 27, 2024.

BARRACO AND ASSOCIATES, INC.

CARL A. BARRACO, JR., P.E. DATE
REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 81259
FOR THE FIRM

Barraco
and Associates, Inc.
CIVIL ENGINEERING - LAND SURVEYING
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FAX (239) 461-3169

FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

Meritage
Homes

Meritage Homes

12220 TOWNE LAKE DRIVE, SUITE 75
FORT MYERS, FLORIDA 33913

PHONE (239) 768-3826
https://www.meritagehomes.com/

PROJECT DESCRIPTION

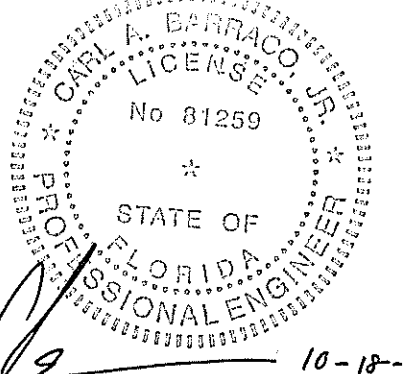
CRESCENT LAKES
AT
BABCOCK
RANCH

CHARLOTTE COUNTY, FLORIDA

ENGINEER OF RECORD

CARL A. BARRACO, JR., P.E., FOR THE FIRM
FLORIDA P.E. NO. 81259 - CARLJR@BARRACO.NET

06/18/2024



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PLOT BY PEYTON GAUSE

CROSS REFERENCED DRAWINGS

MASTER = BAI-COVER-1.DWG

PLAN REVISIONS

PLAN STATUS

RECORD DRAWINGS

COVER SHEET
AND
LOCATION MAP

PROJECT / FILE NO. SHEET NUMBER
24012 1.0

NOTE: SEE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS ABBREVIATIONS FOR ADDITIONAL ABBREVIATIONS NOT LISTED BELOW.

GENERAL NOTES

NOTE: SEE ADDITIONAL NOTES; ON SITE DEVELOPMENT PLANS AND DETAIL SHEETS WHICH ARE SPECIFIC TO THIS PROJECT. IN THE EVENT OF A CONFLICT, UTILIZE NOTES ON SITE DEVELOPMENT PLANS

16. SWALE ELEVATIONS SHOWN ARE TO TOP OF SOD. CONTRACTOR TO ADJUST SWALE GRADING ACCORDINGLY. ALL UNPAVED AREAS SHALL BE GRADED TO DRAIN TO THE DRAINAGE SYSTEM TO PREVENT STANDING WATER. YARD DRAINS MAY BE ADDED IN GREEN AREAS AS NECESSARY AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR ENGINEER, AND SHALL HAVE PEDESTRIAN-SAFE GRATES MEETING THE REQUIREMENTS OF H-20 LOADING.

NOTE: THE SYMBOLS REPRESENTED BELOW ARE STANDARDS UTILIZED BY THIS FIRM
AND NOT ALL ARE REQUIRED FOR THE SUBJECT PROJECT.

STANDARD CURB TYPES SEE F.D.O.T. STANDARD PLAN INDEX 520-001 FOR ADDITIONAL DETAILS

- ## IDENTIFICATION



NOTE: SEE EROSION CONTROL DETAILS FOR ADDITIONAL INFORMATION.



- ### QUANTITIES AND PAYMENT

CONTRACTOR SHALL REFER TO THE BID TABULATION AND PROJECT TECHNICAL SPECIFICATIONS FOR NOTES REGARDING THE METHOD OF PAYMENT FOR SPECIFIC PAY ITEMS. ITEMS NOT SPECIFICALLY REFERENCED IN THE SPECIFICATIONS OR TABULATION SHALL BE PAID FOR PER THE LATEST VERSION OF THE APPROPRIATE D.O.T. DESIGN STANDARD PLANS AND STANDARD SPECIFICATIONS.

NOTE: THE DRAWING UTILIZED BY THIS

STANDARD STREET SIGNS

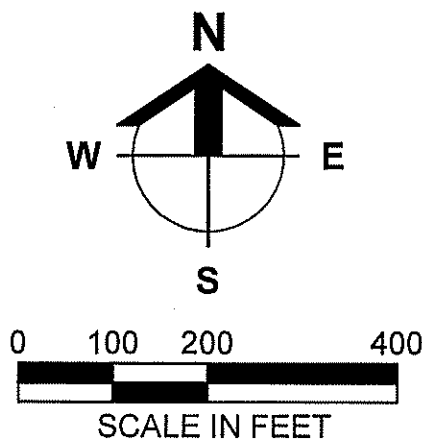
THE SIGN LEGEND BELOW IS PROVIDED AS A GRAPHICAL REFERENCE TO ONE OR MORE OF THE SIGNS REQUIRED FOR THIS PROJECT. THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) SHOULD BE REFERENCED FOR SPECIFIC DETAILS AND LOCATION REQUIREMENTS.



- NOTE: NOT ALL GENERAL NOTES, ABBREVIATIONS,
SYMBOLS OR OTHER STANDARDS SHOWN ON THIS SHEET
MAY BE APPLICABLE TO THIS PROJECT.**

Barraco and Associates, Inc. CIVIL ENGINEERING - LAND SURVEYING LAND PLANNING www.barraco.net 2271 MCGREGOR BLVD., SUITE 100 POST OFFICE DRAWER 2800 FORT MYERS, FLORIDA 33902-2800 PHONE (239) 461-3170 FAX (239) 461-3169 FLORIDA CERTIFICATES OF AUTHORIZATION ENGINEERING 7995 - SURVEYING LB-6940	
PREPARED FOR	
Meritage Homes 12220 TOWNE LAKE DRIVE, SUITE 75 FORT MYERS, FLORIDA 33913 PHONE (239)768-3826 https://www.meritagehomes.com/	
PROJECT DESCRIPTION	
CRESCENT LAKES AT BABCOCK RANCH	
CHARLOTTE COUNTY, FLORIDA	
ENGINEER OF RECORD	
CARL A. BARRACO, JR., P.E., FOR THE FIRM FLORIDA P.E. NO. 81259 - CARLJR@BARRACO.NET	
OCT 18 2024 CARL A. BARRACO, JR. LICENSE No 31259 STATE OF FLORIDA JOURNAL ENGINEER	
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PLOT BY	PEYTON GAUSE
CROSS REFERENCED DRAWINGS	
PLAN REVISIONS	
PLAN STATUS	
RECORD DRAWINGS	
STANDARD NOTES, LEGEND, AND ABBREVIATIONS	
PROJECT / FILE NO.	SHEET NUMBER
24012	2.0

RECORD DRAWING



DESCRIPTION	QUANTITIES	UNITS
6" WATERMAIN	183	L.F.
8" WATERMAIN	5,322	L.F.
6" REUSE MAIN	5,671	L.F.
8" SEWER	6,624	L.F.

(SEE SPINE ROAD YY3 & I13 PLANS
DATED SEPTEMBER 2021)(BY OTHERS)



GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING WATER MAINS, FORCE MAINS, AND OTHER UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION.
- UTILITY CONSTRUCTION AND MATERIAL SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE TCU SPECIFICATIONS AND DETAILS AND WITH TOWN AND COUNTY UTILITY REQUIREMENTS.
- ALL POTABLE WATER MAINS SHALL HAVE A MINIMUM OF 36" OF COVER, UNLESS OTHERWISE NOTED.
- ALL FORCE MAINS AND REUSE WATER MAINS SHALL HAVE A MINIMUM OF 36" COVER, UNLESS OTHERWISE NOTED.
- FIELD DEFLECT WATER MAIN TO CLEAR BEHIND INLETS WHERE REQUIRED.
- FIELD DEFLECT ALL REUSE AND FORCE MAINS AT WATERMAIN CROSSINGS TO PROVIDE A MINIMUM OF 12" OF VERTICAL SEPARATION.
- ALL FIRE HYDRANTS SHALL BE LOCATED NO MORE THAN 1' OUTSIDE OF RIGHT OF WAY LINE AND AT LEAST 8' FROM CLOSEST ROAD IMPROVEMENT PER CHARLOTTE COUNTY REQUIREMENTS.
- ALL WATER AND REUSE MAINS SHALL BE PVC, C900, DR-18, FOR PIPES 12" AND SMALLER OR PVC C-905, DR-18, FOR PIPES GREATER THAN 12", UNLESS OTHERWISE NOTED.
- ALL FORCE MAINS SHALL BE PVC, C900, DR-18 FOR PIPES 12" AND SMALLER, AND PVC C-905, DR-18 FOR PIPES GREATER THAN 12", UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER MAINS SHALL BE PVC, SDR-26, UNLESS OTHERWISE NOTED.
- ALL VALVES TO BE INSTALLED OUTSIDE OF ALL RAMPS AND CURBED AREAS.
- SEE UTILITY DETAIL DRAWINGS FOR WATER, REUSE AND SEWER SERVICE TERMINATIONS.
- GRAVITY SANITARY SEWER PIPE LENGTHS ARE MEASURED FROM CENTER TO CENTER OF MANHOLES.
- THE MAXIMUM ALLOWABLE PRESSURE PIPE DEFLECTION IS 50% OF THE MANUFACTURERS RECOMMENDED MAXIMUM DEFLECTION.
- ALL WATER SERVICES TO BE POLYETHYLENE (PE) TUBING, SIZING TO BE 1" FOR SINGLE SERVICES AND 1.5" FOR DOUBLE SERVICE. COMMERCIAL WATER SERVICES TO BE 2" POLYETHYLENE (PE) TUBING.
- PE TUBING (2" OR LESS) SHALL CONFORM TO AWWA STANDARD C901, PE 3408 AND BE COPPER TUBING SIZE (CTS, SDR-9) WITH A WORKING PRESSURE OF 200 PSIG.
- ALL WATER SERVICES UNDER ROADWAYS ARE TO BE SLEEVED PER TCU REQUIREMENTS. SINGLE SERVICES TO USE 1.5" AND DOUBLE SERVICES TO USE 4" SCH 40 PVC SLEEVES.
- RESTRAINED JOINT PIPE SHALL BE USED FOR THE WATER, REUSE, AND FORCE MAINS AS PER DETAILS AND NOTES. RESTRAINTS TO UTILIZE MEGALUG MECHANICAL JOINTS AND RETAINER GLANDS. RESTRAINED JOINTS TO ALSO BE USED AT ALL VERTICAL BENDS AT PIPE CROSSINGS. SEE DETAILS GO-1 FOR RESTRICTED LENGTHS.
- ALL METERS ARE TO HAVE RPZ BACK FLOW PREVENTIONS.
- ALL LIFT STATIONS TO HAVE WATER SERVICES INSTALLED FOR WASH DOWN. BACK FLOW PREVENTORS AT LIFT STATION HOSE BIBS SHALL BE RPZ MODELS.
- ALL VALVE COVERS AND/OR PADS THAT ARE WITHIN, ADJACENT TO, OR IN CLOSE PROXIMITY TO SIDEWALK SHALL BE ADJUSTED TO MATCH SIDEWALK GRADES.
- UTILITY SYMBOLS ON THE PLAN MAY APPEAR LARGER THAN ACTUAL SIZE OR MOVED FROM INTENDED LOCATION FOR CLARITY. UTILITY APPURTENANCES ARE TO BE INSTALLED PER DETAILS IN PLAN SET OR REFERENCED STANDARD DETAILS.
- 10' WIDE PUBLIC UTILITY EASEMENTS (P.U.E.) ADJACENT TO ROAD RIGHT-OF-WAYS (BOTH SIDES) AND A 4' WIDE P.U.E. ADJACENT TO ALLEY RIGHT-OF-WAYS (BOTH SIDES) ARE TO BE PROVIDED.
- ALL METER BOXES AND CLEANOUTS TO BE PLACED NEXT TO SIDEWALK IN P.U.E.
- GATE VALVES SHALL BE USED ON ALL POTABLE AND RECLAIMED WATER MAINS FOR ALL SIZES. GATE VALVES FOURTEEN (14) INCHES AND LARGER SHALL BE SIDE ACTUATED.
- PLUG VALVES SHALL BE USED ON 3" DIAMETER TO 12" DIAMETER FORCE MAINS. SIDE ACTUATED GATE VALVES SHALL BE USED ON 14" DIAMETER OR LARGER FORCE MAINS.
- PER THE DSM, ALL WATER METERS ARE TO BE SUPPLIED BY TCU.
- ALL LATERAL SEWER SERVICES TO BE 6" DIAMETER WITH A SLOPE NOT LESS THAN 0.63% AND NO MORE THAN 14%.

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FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR



Meritage Homes

12220 TOWNE LAKE DRIVE, SUITE 75
FORT MYERS, FLORIDA 33913

PHONE (239)768-3826

https://www.meritagehomes.com/

PROJECT DESCRIPTION

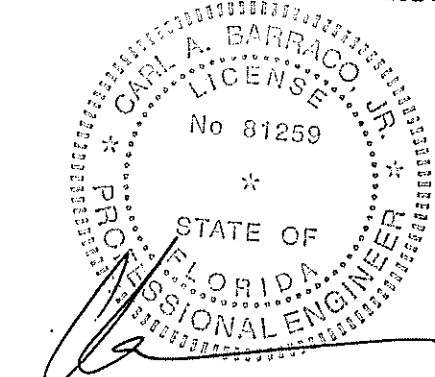
**CRESCENT LAKES
AT
BABCOCK
RANCH**

CHARLOTTE COUNTY, FLORIDA

ENGINEER OF RECORD

CARL A. BARRACO, JR., P.E., FOR THE FIRM
FLORIDA P.E. NO. 81259 - CARL@BARRACO.NET

OCT 18 2024



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PLOT BY | PEYTON GAUSE

CROSS REFERENCED DRAWINGS

BASEPLAN = 24012A00.DWG

PLAT = 24012P00.DWG

SURVEY = 23758900.DWG

PLAN REVISIONS

PLAN STATUS

RECORD DRAWINGS

**MASTER
UTILITY
PLAN**

PROJECT / FILE NO.

24012

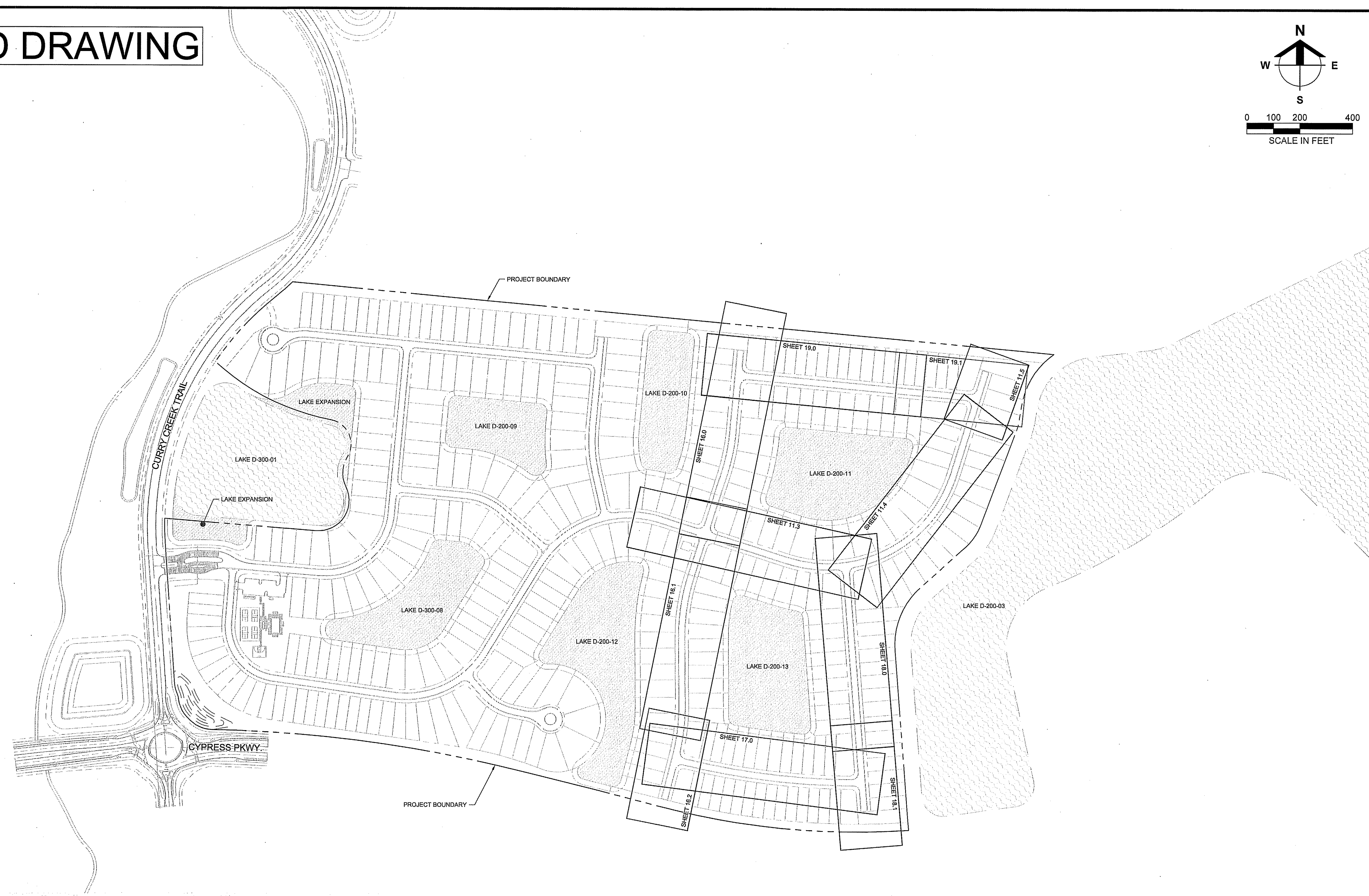
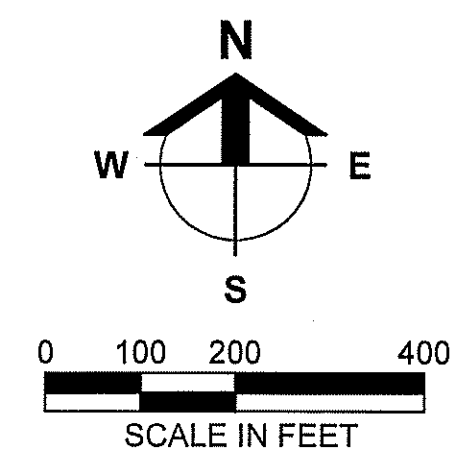
SHEET NUMBER

6.0

UTILITIES PROVIDING SERVICE:

POTABLE WATER	FIRE CONTROL DISTRICT	TELEPHONE	GARBAGE COLLECTION	GAS
TOWN AND COUNTRY UTILITIES (TCU) 12150 SR 31 BABCOCK RANCH, FLORIDA 33982 PHONE (941) 235-6900	BAYSHORE FIRE DEPT. STATION 131 17350 NALLE RD. FORT MYERS, FLORIDA 33917 PHONE (239) 543-3443	CENTURYLINK, INC. 1020 EL JOBEAN RD. PORT CHARLOTTE, FLORIDA 33948 PHONE (941) 629-9311	WASTE MANAGEMENT 25550 HARBOR VIEW RD, SUITE 2 PORT CHARLOTTE, FLORIDA 33980 PHONE (941) 764-4360	TECO GAS 702 NORTH FRANKLIN ST. P.O. BOX 2562 TAMPA, FLORIDA 33601 PHONE (813) 275-3700
SANITARY SEWER	CABLE TELEVISION	ELECTRIC	IRRIGATION	
TOWN AND COUNTRY UTILITIES (TCU) 12150 SR 31 BABCOCK RANCH, FLORIDA 33982 PHONE (941) 235-6900	COMCAST 22296 EDGEWATER DR. PORT CHARLOTTE, FLORIDA 33980 PHONE (941) 625-6000	FLORIDA POWER AND LIGHT 10650 PALM BEACH BLVD. FORT MYERS, FLORIDA 33905 PHONE (239) 334-7754	BABCOCK RANCH IRRIGATION, LLC 4500 PGA BLVD. PALM BEACH GARDENS, FLORIDA 33418 PHONE (941) 235-6900	

RECORD DRAWING



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POST OFFICE DRAWER 2800
FORT MYERS, FLORIDA 33902-2800
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FAX (239) 481-3169
FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7595 - SURVEYING LB-8940

PREPARED FOR
Meritage Homes
Meritage Homes
12220 TOWNE LAKE DRIVE, SUITE 75
FORT MYERS, FLORIDA 33913
PHONE (239) 768-3826
<https://www.meritagehomes.com/>

PROJECT DESCRIPTION
**CRESCENT LAKES
AT
BABCOCK
RANCH**

CHARLOTTE COUNTY, FLORIDA

ENGINEER OF RECORD
CARL A. BARRACO, JR., P.E., FOR THE FIRM
FLORIDA P.E. NO. 81259 - CARLJR@BARRACO.NET
OCT 18 2024

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PLOT BY = PEYTON GAUSE

CROSS REFERENCED DRAWINGS
BASEPLAN = 24012A00.DWG
PLAT = 24012P00.DWG
SURVEY = 23758S00.DWG

PLAN REVISIONS	

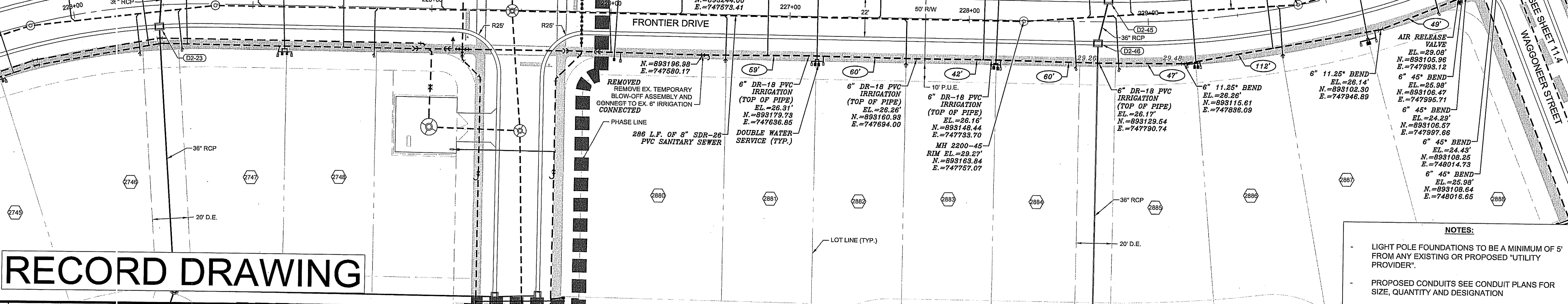
PLAN STATUS
RECORD DRAWINGS

**PLAN AND
PROFILE KEY
SHEET**

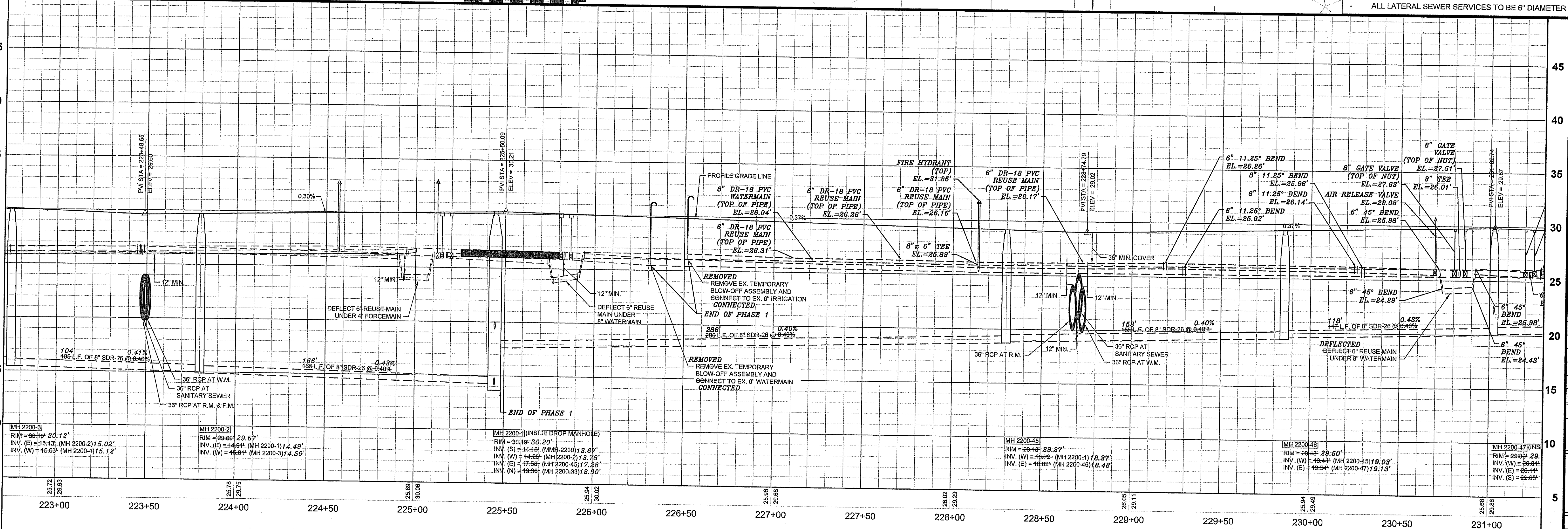
PROJECT / FILE NO.	SHEET NUMBER
24012	9.0

ASSETS (PER P&P SHEET)
FOR THE RECORD OF
CRESCENT LAKES
PHASE 2
4/17/2024
24012 - UTILITY RECORD DRAWINGS - 11.3

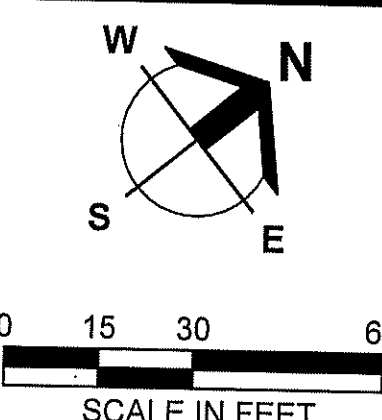
ITEM NO.	DESCRIPTION	QUANTITY	UNITS
I.	WATERMAIN AND ACCESSORIES		
A.	8" DR-18 PVC WATERMAIN	460	L.F.
B.	8" GATE VALVE	2	EA.
C.	FIRE HYDRANT ASSEMBLY	1	EA.
D.	DOUBLE WATER SERVICE	7	EA.
II.	IRRIGATION MAIN AND ACCESSORIES		
A.	6" DR-18 PVC REUSE MAIN	458	L.F.
B.	AIR RELEASE VALVE	1	EA.
C.	DOUBLE IRRIGATION SERVICE	7	EA.
III.	SANITARY SEWER AND ACCESSORIES		
A.	8" SDR-26 SANITARY SEWER	557	L.F.
B.	4" MANHOLE	2	EA.
C.	SINGLE SEWER SERVICE	5	EA.
D.	DOUBLE SEWER SERVICE	6	EA.



RECORD DRAWING



RECORD DRAWING



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FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940
PREPARED FOR

Meritage Homes
Meritage Homes
12220 TOWNE LAKE DRIVE, SUITE 75
FORT MYERS, FLORIDA 33913
PHONE (239) 768-3826
<https://www.meritagehomes.com/>
PROJECT DESCRIPTION

CRESCENT LAKES AT BABCOCK RANCH

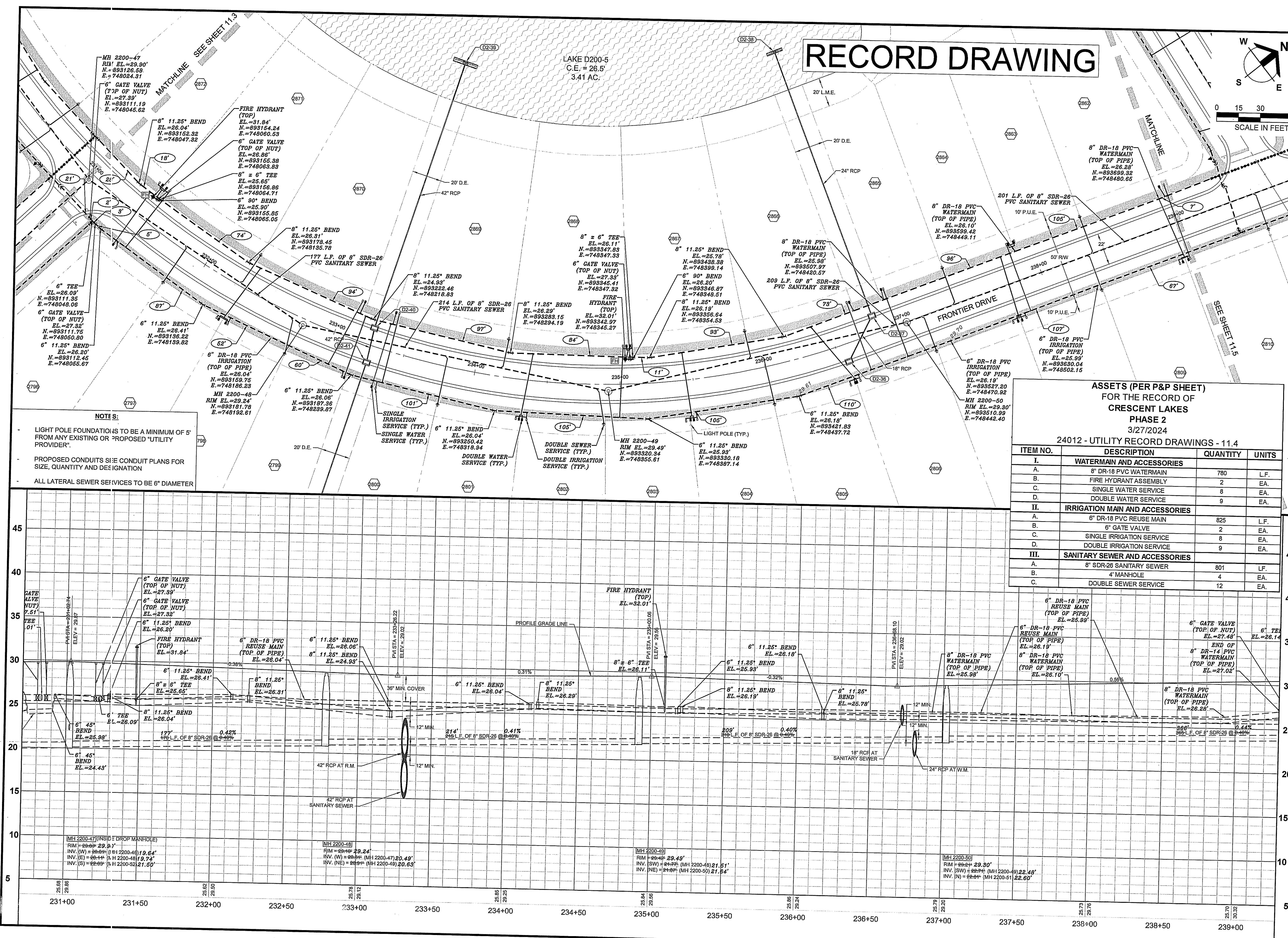
CHARLOTTE COUNTY, FLORIDA
ENGINEER OF RECORD
CARL A. BARRACO, JR., P.E. FOR THE FIRM
FLORIDA P.E. NO. 81259 - CARLJB@BARRACO.NET

OCT 18 2024
STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 81259

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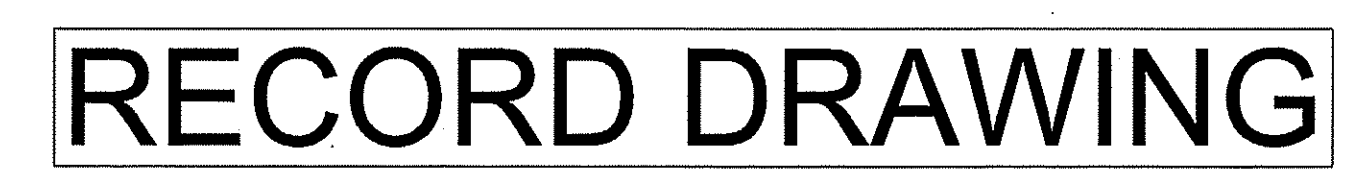
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PLAT = 24012P00.DWG	
SURVEY = 23758S00.DWG	
PLAN REVISIONS	
PLAN STATUS	
RECORD DRAWINGS	

PLAN AND PROFILE FRONTIER DRIVE STA: 231+00 TO 239+00	
PROJECT / FILE NO.	SHEET NUMBER
24012	11.4



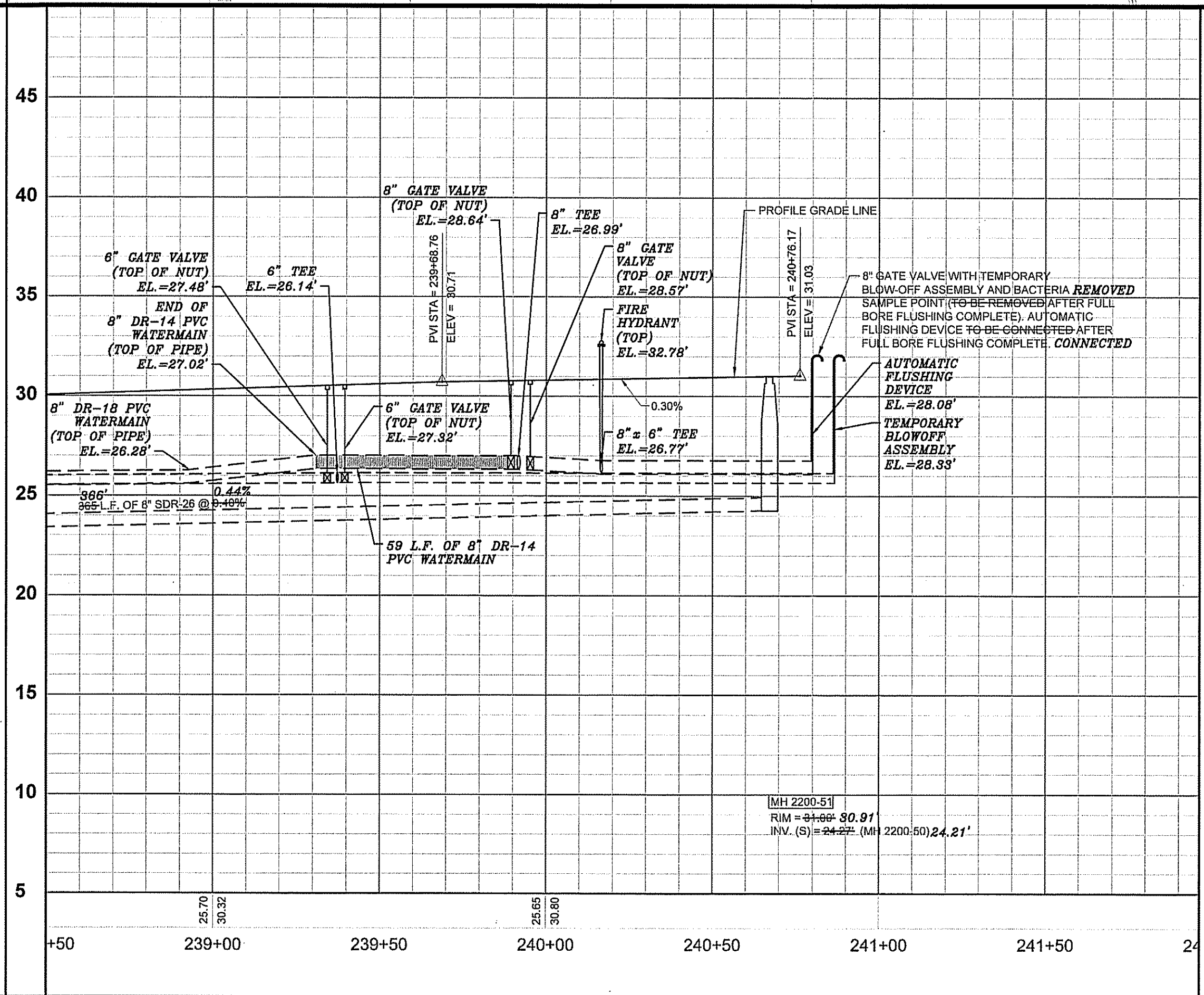
- NOTES:**
- LIGHT POLE FOUNDATIONS TO BE A MINIMUM OF 5' FROM ANY EXISTING OR PROPOSED 'UTILITY PROVIDER'.
 - PROPOSED CONDUITS SEE CONDUIT PLANS FOR SIZE, QUANTITY AND DESIGNATION
 - ALL LATERAL SEWER SERVICES TO BE 6" DIAMETER

ASSETS (PER P&P SHEET) FOR THE RECORD OF CRESCENT LAKES PHASE 2 3/27/2024 24012 - UTILITY RECORD DRAWINGS - 11.4			
ITEM NO.	DESCRIPTION	QUANTITY	UNITS
I. WATERMAIN AND ACCESSORIES			
A.	8" DR-18 PVC WATERMAIN	780	L.F.
B.	FIRE HYDRANT ASSEMBLY	2	EA.
C.	SINGLE WATER SERVICE	8	EA.
D.	DOUBLE WATER SERVICE	9	EA.
II. IRRIGATION MAIN AND ACCESSORIES			
A.	6" DR-18 PVC REUSE MAIN	825	L.F.
B.	6" GATE VALVE	2	EA.
C.	SINGLE IRRIGATION SERVICE	8	EA.
D.	DOUBLE IRRIGATION SERVICE	9	EA.
III. SANITARY SEWER AND ACCESSORIES			
A.	8" SDR-26 SANITARY SEWER	801	L.F.
B.	4" MANHOLE	4	EA.
C.	DOUBLE SEWER SERVICE	12	EA.

[illegible]

- NOTES:**

 - LIGHT POLE FOUNDATIONS TO BE A MINIMUM OF 5' FROM ANY EXISTING OR PROPOSED "UTILITY PROVIDER".
 - PROPOSED CONDUITS SEE CONDUIT PLANS FOR SIZE, QUANTITY AND DESIGNATION
 - ALL LATERAL SEWER SERVICES TO BE 6" DIAMETER



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PREPARED FOR	
Meritage Homes® Meritage Homes 12220 Towne Lake Drive, Suite 75 Fort Myers, Florida 33913 Phone (239) 768-3826 https://www.meritagehomes.com/	
PROJECT DESCRIPTION	
CRESCENT LAKES AT BABCOCK RANCH Charlotte County, Florida	
ENGINEER OF RECORD	
Carl A. Barraco, Jr., P.E., for the firm Florida P.E. No. 81259 - carljrj@barraco.net OCT 18 2024  DRAWING NOT VALID WITHOUT SEAL SIGNATURE AND DATE © COPYRIGHT 2024, BARRACO AND ASSOCIATES, INC. REPRODUCTION, CHANGES OR ASSIGNMENTS ARE PROHIBITED	
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LOCATION	J:\24012\DWG\RECORD\PH2\
PLOT DATE	WED. 3-27-2024 - 12:23 PM
PLOT BY	PEYTON GAUSE
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PLAN REVISIONS	
PLAN STATUS	
RECORD DRAWINGS	
PLAN AND PROFILE FRONTIER DRIVE STA: 239+00 TO END	
PROJECT / FILE NO.	SHEET NUMBER
24012	11.5



Meritage Homes

12220 TOWNE LAKE DRIVE, SUITE 75
FORT MYERS, FLORIDA 33913

PHONE (239) 768-3626

https://www.meritagehomes.com/

PROJECT DESCRIPTION

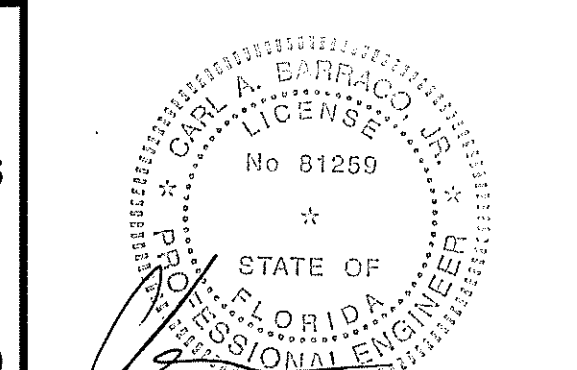
**CRESCENT LAKES
AT
BABCOCK
RANCH**

CHARLOTTE COUNTY, FLORIDA

ENGINEER OF RECORD

CARL A. BARRACO, JR., P.E., FOR THE FIRM
FLORIDA P.E. NO. 81259 - CARLJB@BARRACO.NET

OCT 18 2024



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FILE NAME: 24012R30G.DWG

LOCATION: J:\24012\DWG\RECORD\PH2\

PLOT DATE: WED, 3-27-2024 - 12:23 PM

PLOT BY: PEYTON GAUSE

CROSS REFERENCED DRAWINGS

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PLAN = 24012P00.DWG

SURVEY = 23758500.DWG

PLAN REVISIONS

NO.	DESCRIPTION

PLAN STATUS

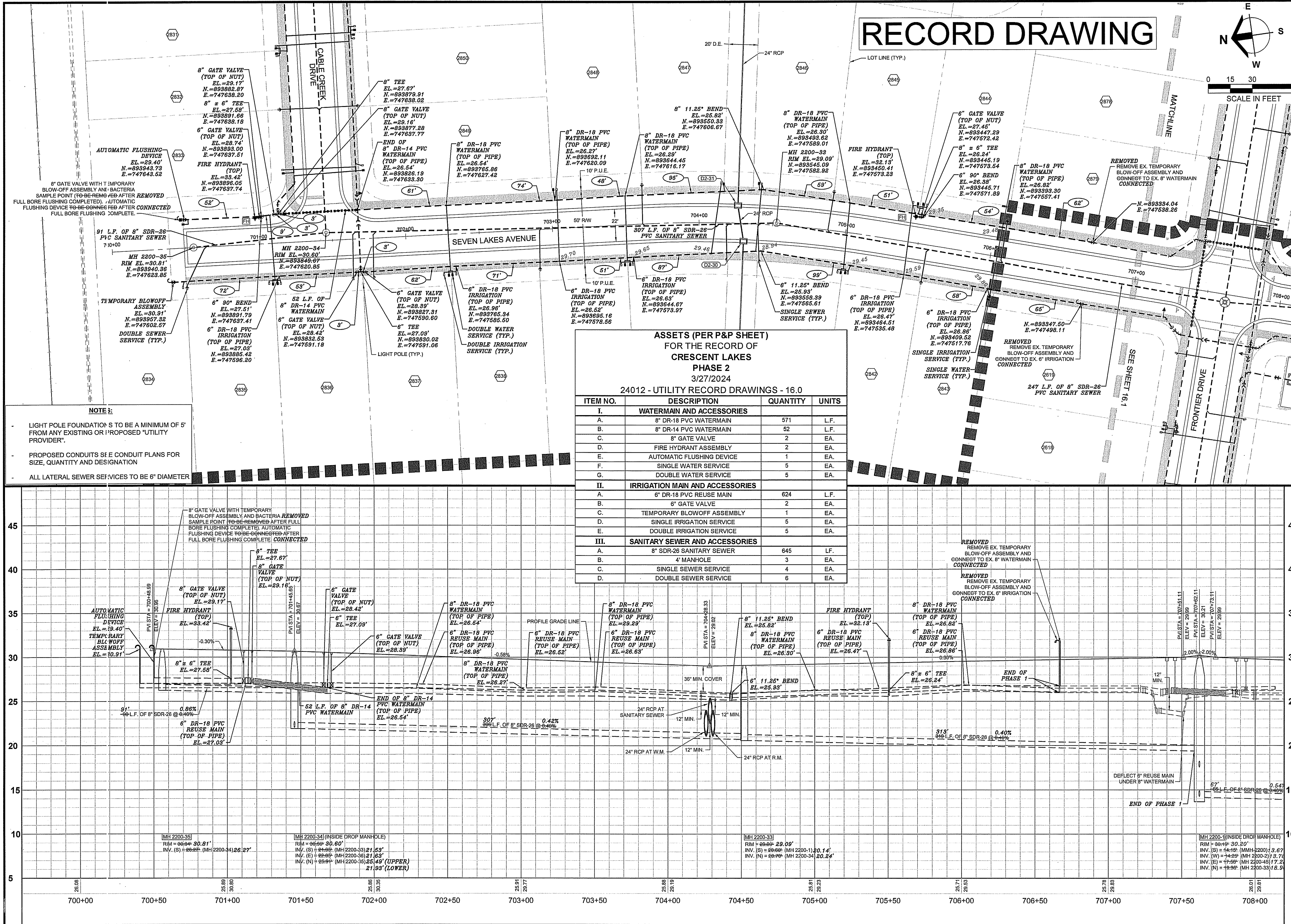
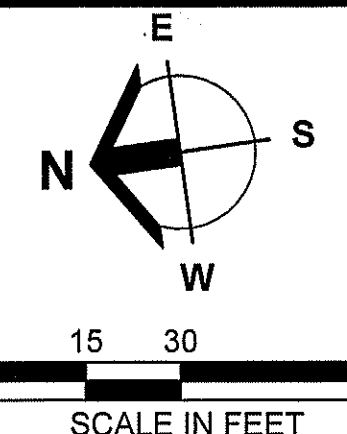
RECORD DRAWINGS

PLAN AND PROFILE
SEVEN LAKES AVENUE
STA: 700+00 TO 707+00

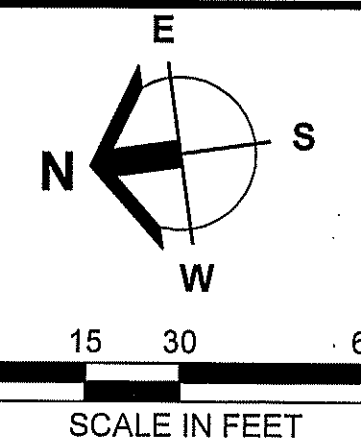
PROJECT / FILE NO. SHEET NUMBER

24012 16.0

RECORD DRAWING



RECORD DRAWING



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and Associates, Inc.
CIVIL ENGINEERING - LAND SURVEYING
LAND PLANNING
www.barraco.net
2271 MCGREGOR BLVD., SUITE 100
FORT MYERS, FLORIDA 33902-2800
PHONE (239) 461-3170
FAX (239) 461-3169
FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940



Meritage Homes
12220 TOWNE LAKE DRIVE, SUITE 75
FORT MYERS, FLORIDA 33913
PHONE (239) 788-3826
<http://www.meritagehomes.com/>

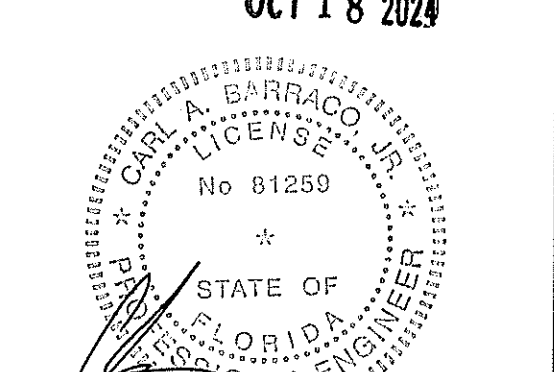
PROJECT DESCRIPTION

**CRESCENT LAKES
AT
BABCOCK
RANCH**

CHARLOTTE COUNTY, FLORIDA

ENGINEER OF RECORD
CARL A. BARRACO, JR., P.E., FOR THE FIRM
FLORIDA P.E. NO. 81259 - CARLB@BARRACO.NET

OCT 18 2024



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PLOT BY: PEYTON GAUSE
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PLAN = 24012P00.DWG
SURVEY = 23758500.DWG

PLAN REVISIONS	
PLAN STATUS	
RECORD DRAWINGS	

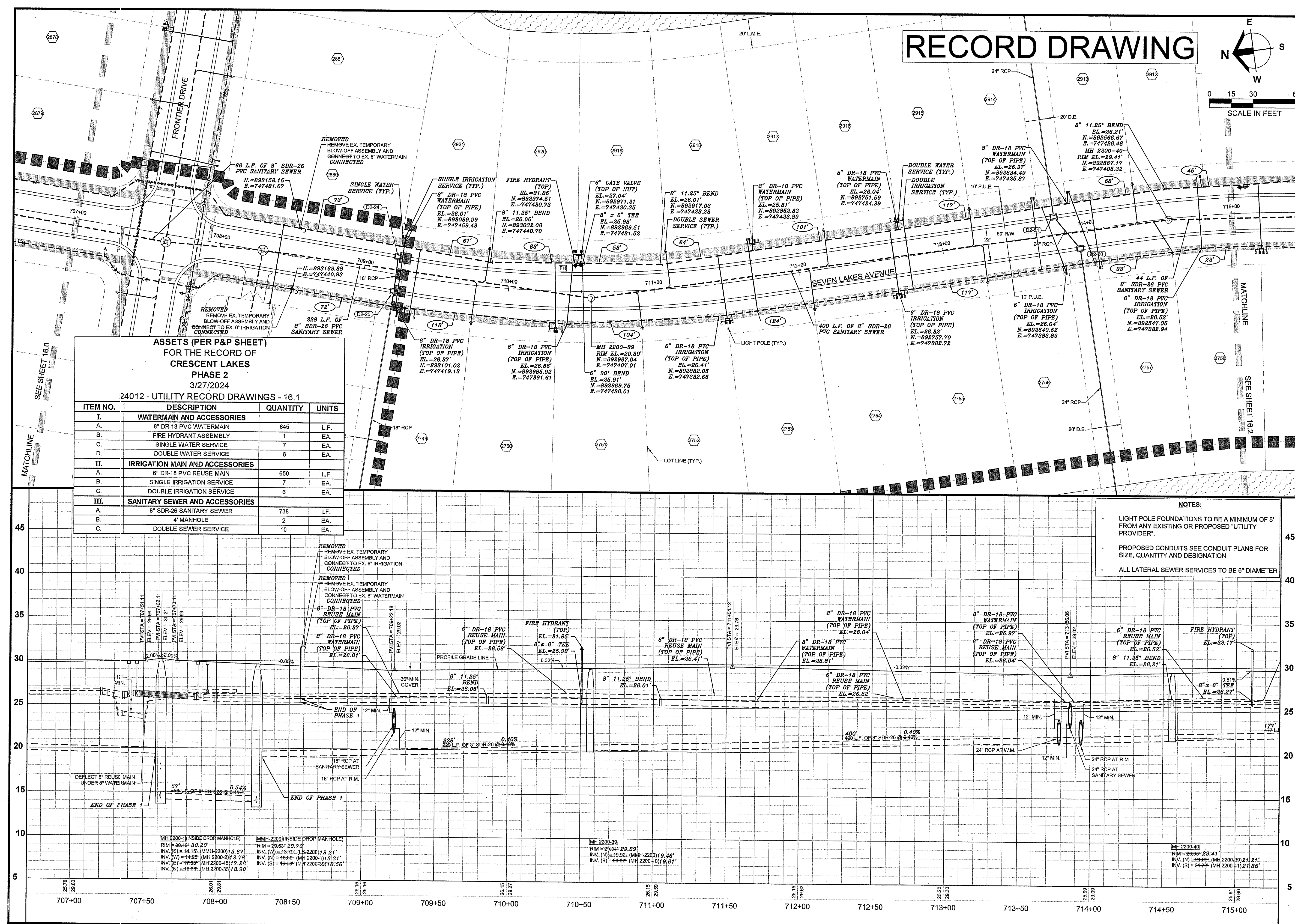
**PLAN AND PROFILE
SEVEN LAKES AVENUE
STA: 707+00 TO 715+00**

PROJECT / FILE NO.	SHEET NUMBER
24012	16.1

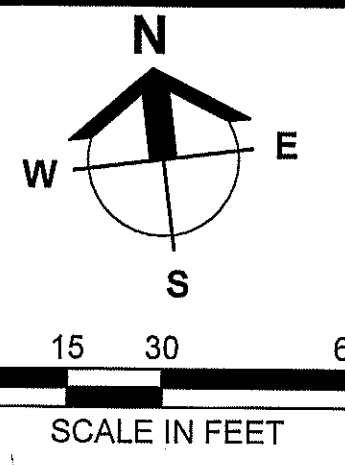
**ASSETS (PER P&P SHEET)
FOR THE RECORD OF
CRESCENT LAKES
PHASE 2
3/27/2024
24012 - UTILITY RECORD DRAWINGS - 16.1**

ITEM NO.	DESCRIPTION	QUANTITY	UNITS
I. WATERMAIN AND ACCESSORIES			
A.	8" DR-18 PVC WATERMAIN	645	L.F.
B.	FIRE HYDRANT ASSEMBLY	1	EA.
C.	SINGLE WATER SERVICE	7	EA.
D.	DOUBLE WATER SERVICE	6	EA.
II. IRRIGATION MAIN AND ACCESSORIES			
A.	6" DR-18 PVC REUSE MAIN	650	L.F.
B.	SINGLE IRRIGATION SERVICE	7	EA.
C.	DOUBLE IRRIGATION SERVICE	6	EA.
III. SANITARY SEWER AND ACCESSORIES			
A.	8" SDR-26 SANITARY SEWER	738	L.F.
B.	4" MANHOLE	2	EA.
C.	DOUBLE SEWER SERVICE	10	EA.

- NOTES:**
- LIGHT POLE FOUNDATIONS TO BE A MINIMUM OF 5' FROM ANY EXISTING OR PROPOSED "UTILITY PROVIDER".
 - PROPOSED CONDUITS SEE CONDUIT PLANS FOR SIZE, QUANTITY AND DESIGNATION
 - ALL LATERAL SEWER SERVICES TO BE 6" DIAMETER



RECORD DRAWING



Barraco
and Associates, Inc.
CIVIL ENGINEERING - LAND SURVEYING
LAND PLANNING

www.barraco.net
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FORT MYERS, FLORIDA 33902-2800
PHONE (239) 461-3170
FAX (239) 461-3169

FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR



Meritage Homes
12220 TOWNE LAKE DRIVE, SUITE 75
FORT MYERS, FLORIDA 33913
PHONE (239) 768-3826
https://www.meritagehomes.com/

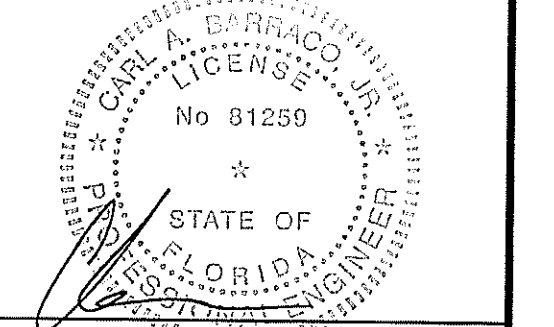
PROJECT DESCRIPTION

CRESCENT LAKES AT BABCOCK RANCH

CHARLOTTE COUNTY, FLORIDA

ENGINEER OF RECORD
CARL A. BARRACO, JR., P.E., FOR THE FIRM
FLORIDA P.E. NO. 81259 - CARLJB@BARRACO.NET

OCT 18 2024



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FILE NAME: 24012R30H.DWG
LOCATION: J:\24012DWG\RECORD\PH2
PLOT DATE: WED, 3-27-2024 - 12:25 PM
PLOT BY: PEYTON GAUSE

CROSS REFERENCED DRAWINGS
BASE PLAN: 24012A00.DWG
PLAN: 24012P00.DWG
SURVEY: 23758S00.DWG

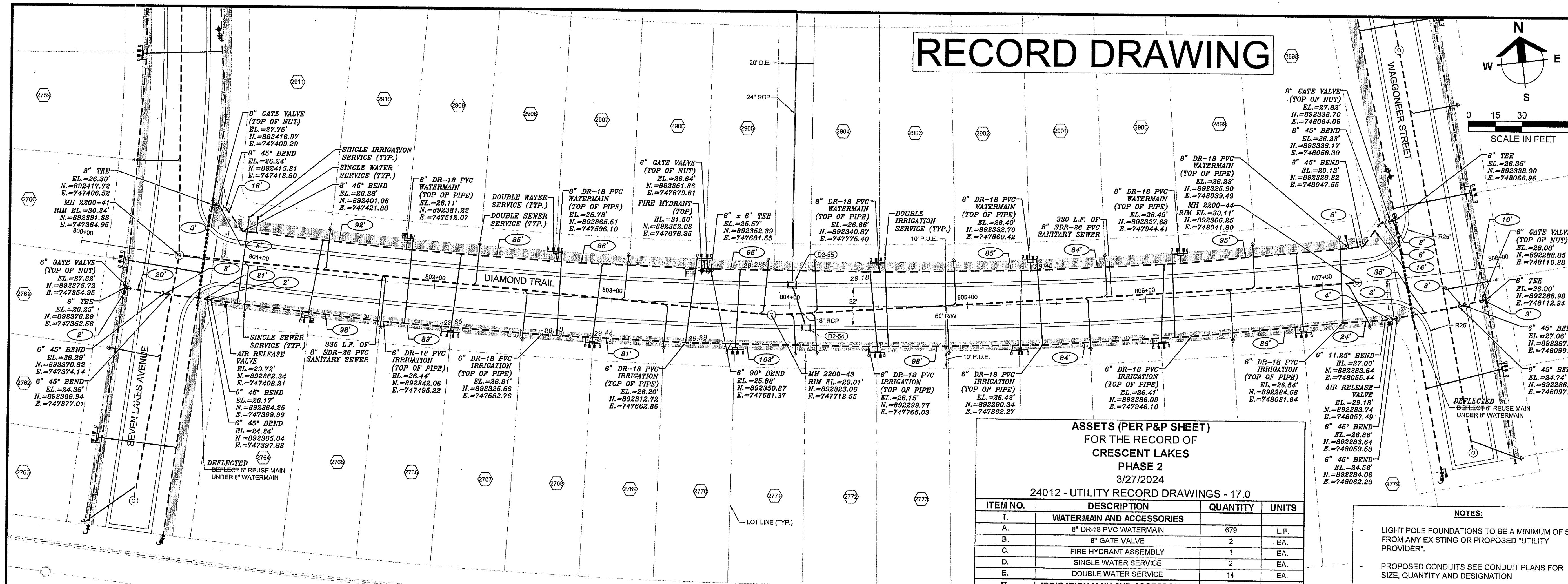
PLAN REVISIONS	

PLAN STATUS

RECORD DRAWINGS

PLAN AND PROFILE DIAMOND TRAIL STA: 800+00 TO END

PROJECT / FILE NO. **24012** SHEET NUMBER **17.0**

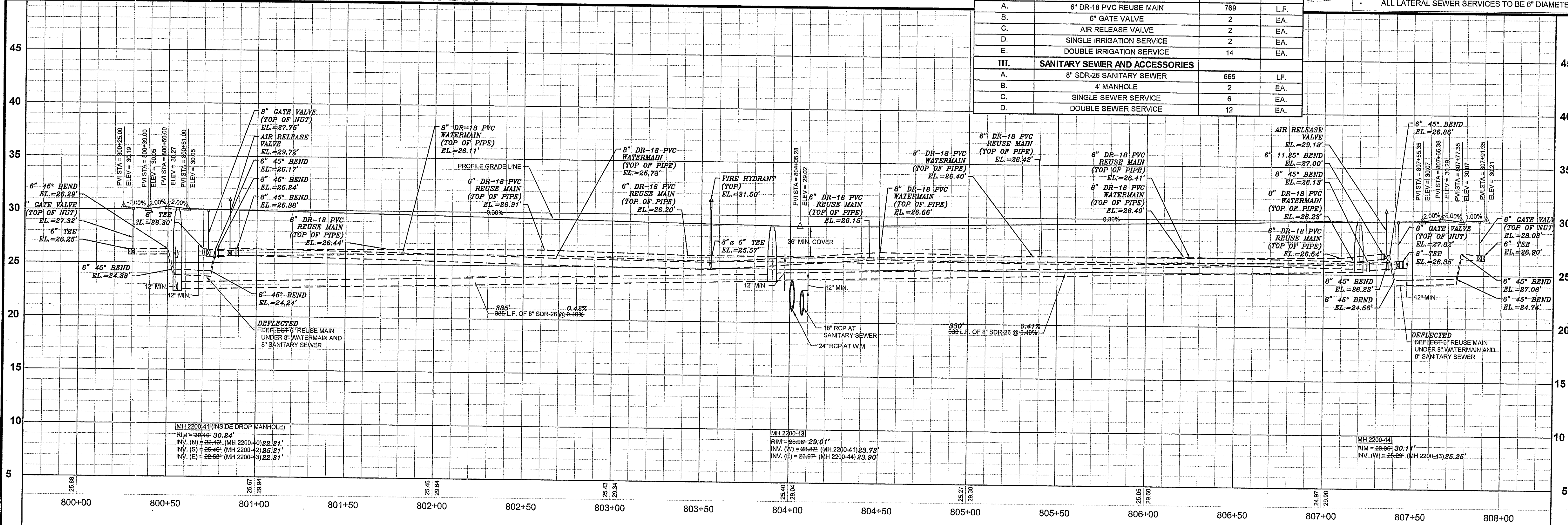


ASSETS (PER P&P SHEET) FOR THE RECORD OF CRESCENT LAKES PHASE 2 3/27/2024

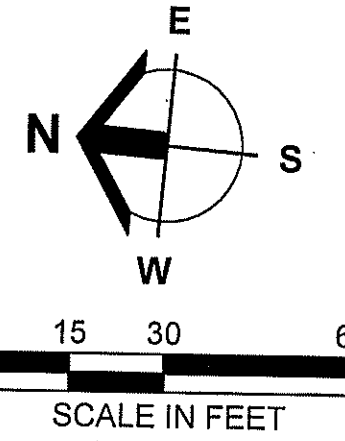
24012 - UTILITY RECORD DRAWINGS - 17.0

ITEM NO.	DESCRIPTION	QUANTITY	UNITS
I. WATERMAIN AND ACCESSORIES			
A.	8" DR-18 PVC WATERMAIN	679	L.F.
B.	8" GATE VALVE	2	EA.
C.	FIRE HYDRANT ASSEMBLY	1	EA.
D.	SINGLE WATER SERVICE	2	EA.
E.	DOUBLE WATER SERVICE	14	EA.
II. IRRIGATION MAIN AND ACCESSORIES			
A.	6" DR-18 PVC REUSE MAIN	769	L.F.
B.	6" GATE VALVE	2	EA.
C.	AIR RELEASE VALVE	2	EA.
D.	SINGLE IRRIGATION SERVICE	2	EA.
E.	DOUBLE IRRIGATION SERVICE	14	EA.
III. SANITARY SEWER AND ACCESSORIES			
A.	8" SDR-26 SANITARY SEWER	665	L.F.
B.	4" MANHOLE	2	EA.
C.	SINGLE SEWER SERVICE	6	EA.
D.	DOUBLE SEWER SERVICE	12	EA.

- NOTES:**
- LIGHT POLE FOUNDATIONS TO BE A MINIMUM OF 5' FROM ANY EXISTING OR PROPOSED "UTILITY PROVIDER".
 - PROPOSED CONDUITS SEE CONDUIT PLANS FOR SIZE, QUANTITY AND DESIGNATION
 - ALL LATERAL SEWER SERVICES TO BE 6" DIAMETER



RECORD DRAWING



Barraco
and Associates, Inc.
CIVIL ENGINEERING - LAND SURVEYING
LAND PLANNING

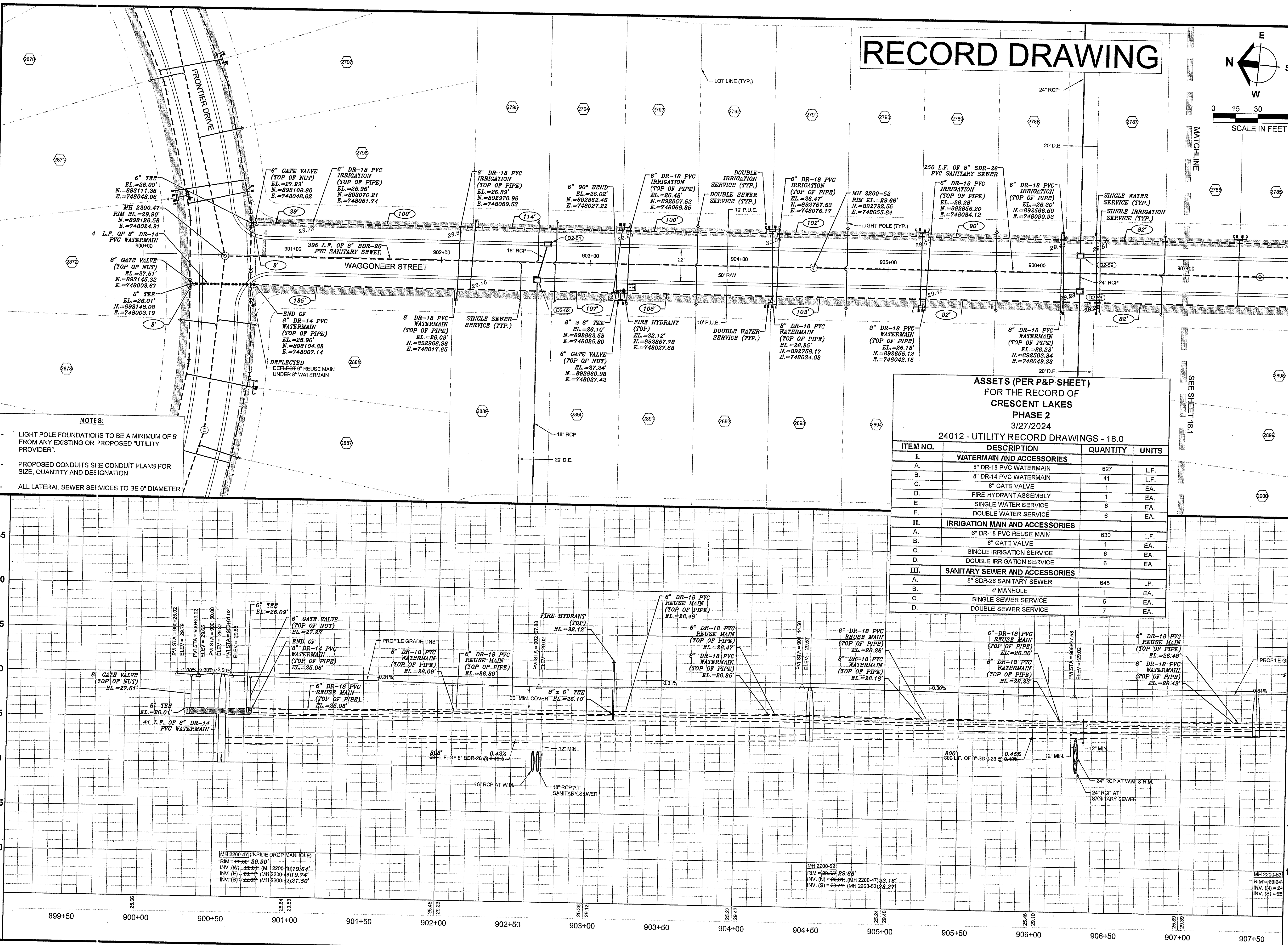
www.barraco.net
2271 MCGREGOR BLVD., SUITE 100
FORT MYERS, FLORIDA 33902-2800
PHONE (239) 461-3170
FAX (239) 461-3169
FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR
Meritage Homes
Meritage Homes
12220 TOWNE LAKE DRIVE, SUITE 75
FORT MYERS, FLORIDA 33913
PHONE (239) 768-3826
https://www.meritagehomes.com/
PROJECT DESCRIPTION
**CRESCENT LAKES
AT
BABCOCK
RANCH**
CHARLOTTE COUNTY, FLORIDA

ENGINEER OF RECORD
CARL A. BARRACO, JR., P.E. FOR THE FIRM
FLORIDA P.E. NO. 81239 - CARLB@BARRACO.NET
OCT 18 2024
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PLOT BY: PEYTON GAUSE
CROSS REFERENCED DRAWINGS
BASEPLAN = 24012A00.DWG
PLAT = 24012P00.DWG
SURVEY = 23768S00.DWG
PLAN REVISIONS
PLAN STATUS
RECORD DRAWINGS

PLAN AND PROFILE
WAGGONEER STREET
STA: 900+00 TO 907+00
PROJECT / FILE NO.
24012
SHEET NUMBER
18.0

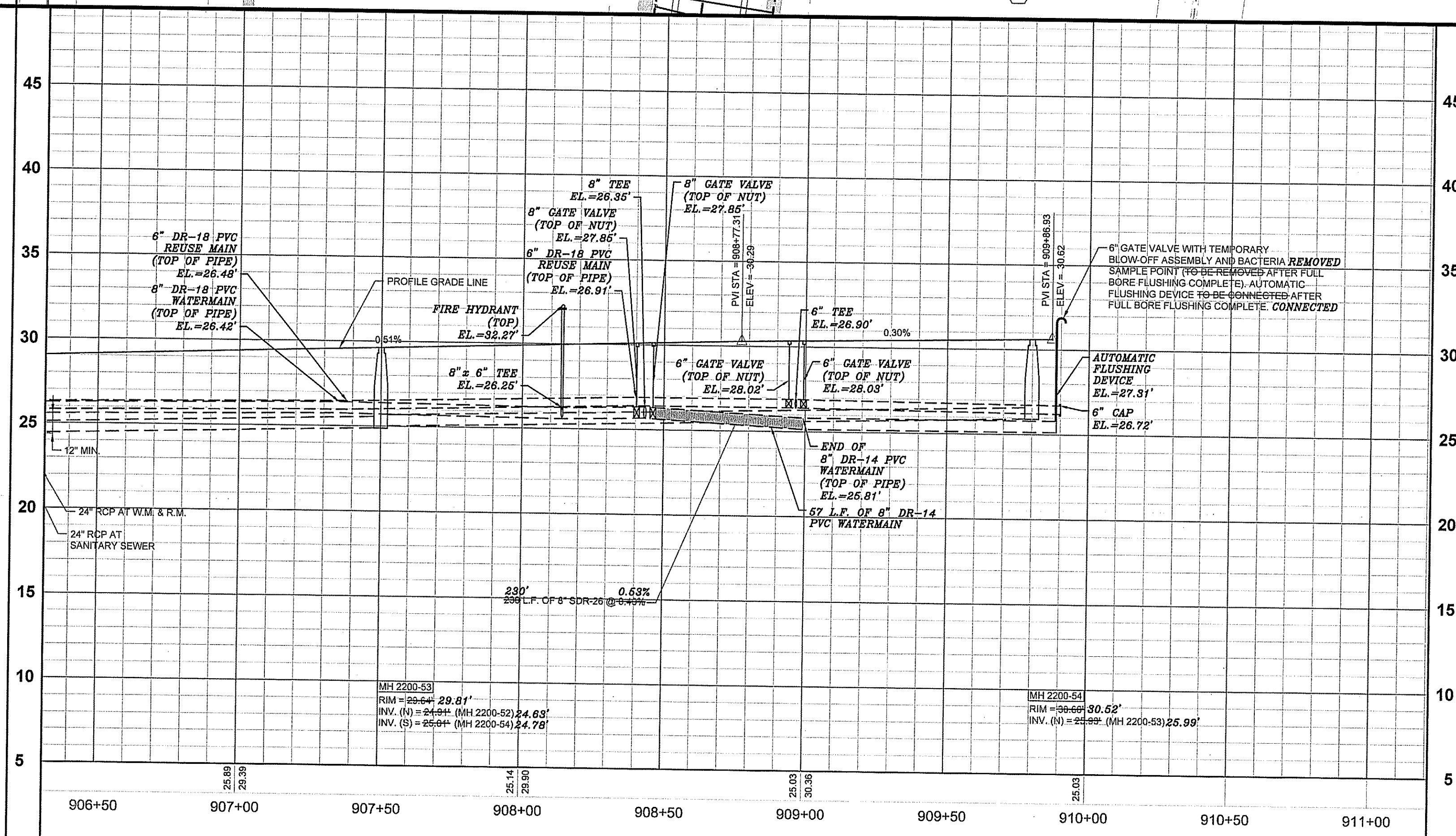


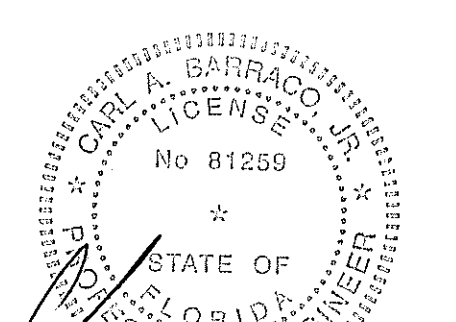
NOTES:
- LIGHT POLE FOUNDATION IS TO BE A MINIMUM OF 5' FROM ANY EXISTING OR PROPOSED UTILITY PROVIDER.
- PROPOSED CONDUITS SEE CONDUIT PLANS FOR SIZE, QUANTITY AND DESIGNATION
- ALL LATERAL SEWER SERVICES TO BE 6" DIAMETER

ASSETS (PER P&P SHEET) FOR THE RECORD OF CRESCENT LAKES PHASE 2 3/27/2024 24012 - UTILITY RECORD DRAWINGS - 18.0			
ITEM NO.	DESCRIPTION	QUANTITY	UNITS
I. WATERMAIN AND ACCESSORIES			
A.	8" DR-18 PVC WATERMAIN	627	L.F.
B.	8" DR-14 PVC WATERMAIN	41	L.F.
C.	8" GATE VALVE	1	EA.
D.	FIRE HYDRANT ASSEMBLY	1	EA.
E.	SINGLE WATER SERVICE	6	EA.
F.	DOUBLE WATER SERVICE	6	EA.
II. IRRIGATION MAIN AND ACCESSORIES			
A.	6" DR-18 PVC REUSE MAIN	630	L.F.
B.	6" GATE VALVE	1	EA.
C.	SINGLE IRRIGATION SERVICE	6	EA.
D.	DOUBLE IRRIGATION SERVICE	6	EA.
III. SANITARY SEWER AND ACCESSORIES			
A.	8" SDR-26 SANITARY SEWER	645	L.F.
B.	4" MANHOLE	1	EA.
C.	SINGLE SEWER SERVICE	5	EA.
D.	DOUBLE SEWER SERVICE	7	EA.

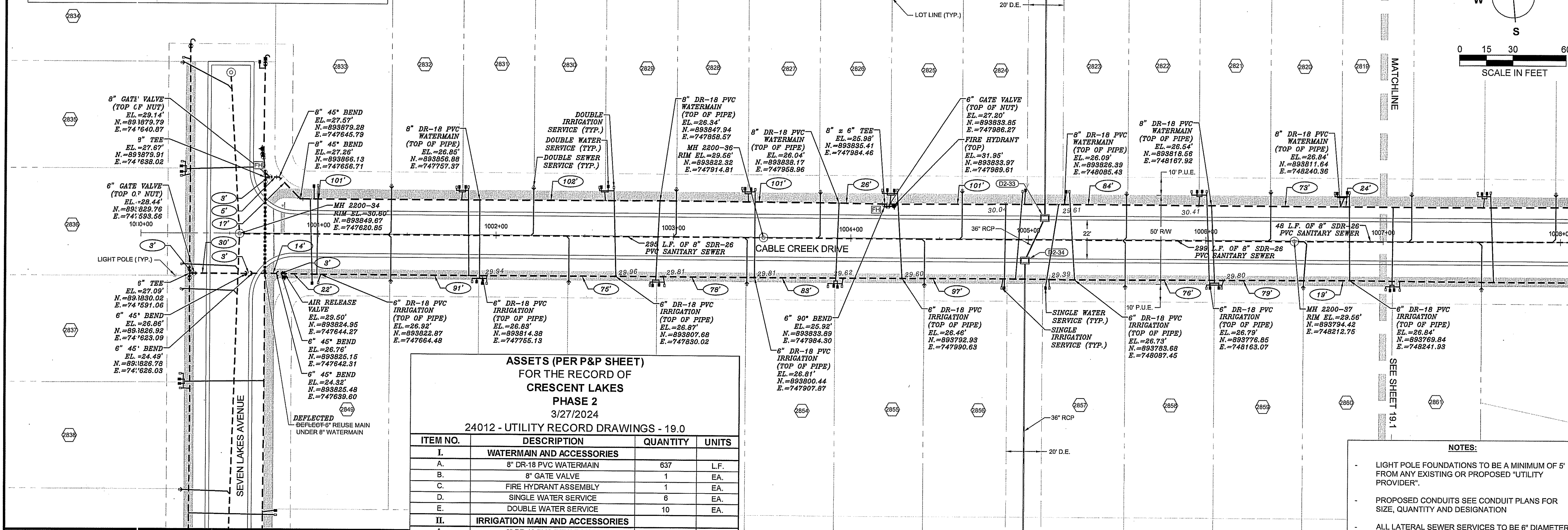
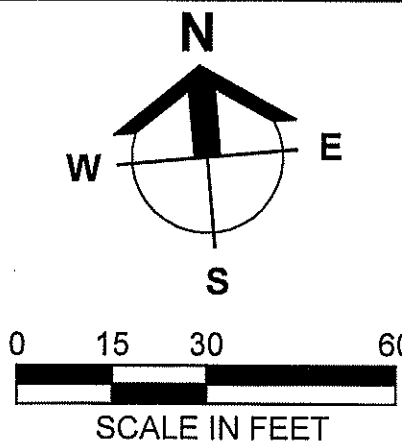
ASSETS (PER P&P SHEET)			
FOR THE RECORD OF			
CRESCENT LAKES			
PHASE 2			
3/27/2024			
24012 - UTILITY RECORD DRAWINGS - 18.1			
ITEM NO.	DESCRIPTION	QUANTITY	UNITS
I.	WATERMAIN AND ACCESSORIES		
A.	8" DR-18 PVC WATERMAIN	235	L.F.
B.	8" DR-14 PVC WATERMAIN	57	L.F.
C.	8" GATE VALVE	2	EA.
D.	FIRE HYDRANT ASSEMBLY	1	EA.
E.	AUTOMATIC FLUSHING DEVICE	1	EA.
F.	SINGLE WATER SERVICE	1	EA.
G.	DOUBLE WATER SERVICE	3	EA.
II.	IRRIGATION MAIN AND ACCESSORIES		
A.	6" DR-18 PVC REUSE MAIN	280	L.F.
B.	6" GATE VALVE	2	EA.
C.	DOUBLE IRRIGATION SERVICE	3	EA.
III.	SANITARY SEWER AND ACCESSORIES		
A.	8" SDR-26 SANITARY SEWER	280	L.F.
B.	4' MANHOLE	2	EA.
C.	DOUBLE SEWER SERVICE	3	EA.

- NOTES:**
- LIGHT POLE FOUNDATIONS TO BE A MINIMUM OF 5' FROM ANY EXISTING OR PROPOSED "UTILITY PROVIDER".
 - PROPOSED CONDUITS SEE CONDUIT PLANS FOR SIZE, QUANTITY AND DESIGNATION
 - ALL LATERAL SEWER SERVICES TO BE 6" DIAMETER



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PREPARED FOR	
 Meritage Homes 12220 TOWNE LAKE DRIVE, SUITE 75 FORT MYERS, FLORIDA 33913 PHONE (239)768-3826 https://www.meritagehomes.com/	
PROJECT DESCRIPTION	
CRESCENT LAKES AT BABCOCK RANCH CHARLOTTE COUNTY, FLORIDA	
ENGINEER OF RECORD CARL A. BARRACO, JR., P.E., FOR THE FIRM FLORIDA P.E. NO. 81259 - CARLJRB@BARRACO.NET	
OCT 18 2024	
	
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PLOT BY	PEYTON GAUSE
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PLAN REVISIONS	
PLAN STATUS	
RECORD DRAWINGS	
PLAN AND PROFILE WAGGONEER STREET STA: 907+00 TO END	
PROJECT / FILE NO.	SHEET NUMBER
24012	18.1

RECORD DRAWING

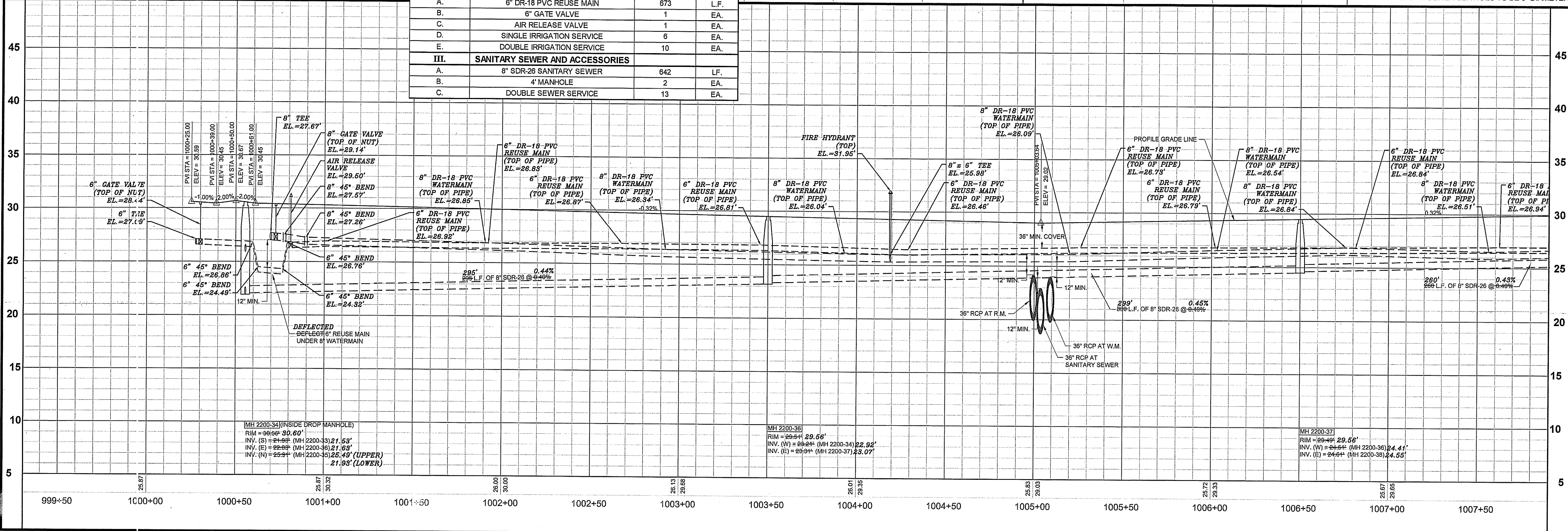


ASSETS (PER P&P SHEET) FOR THE RECORD OF CRESCENT LAKES PHASE 2 3/27/2024

24012 - UTILITY RECORD DRAWINGS - 19.0

ITEM NO.	DESCRIPTION	QUANTITY	UNITS
I. WATERMAIN AND ACCESSORIES			
A.	8" DR-18 PVC WATERMAIN	637	L.F.
B.	8" GATE VALVE	1	EA.
C.	FIRE HYDRANT ASSEMBLY	1	EA.
D.	SINGLE WATER SERVICE	6	EA.
E.	DOUBLE WATER SERVICE	10	EA.
II. IRRIGATION MAIN AND ACCESSORIES			
A.	6" DR-18 PVC REUSE MAIN	673	L.F.
B.	6" GATE VALVE	1	EA.
C.	AIR RELEASE VALVE	1	EA.
D.	SINGLE IRRIGATION SERVICE	6	EA.
E.	DOUBLE IRRIGATION SERVICE	10	EA.
III. SANITARY SEWER AND ACCESSORIES			
A.	8" SDR-26 SANITARY SEWER	642	L.F.
B.	4" MANHOLE	2	EA.
C.	DOUBLE SEWER SERVICE	13	EA.

- NOTES:**
- LIGHT POLE FOUNDATIONS TO BE A MINIMUM OF 5' FROM ANY EXISTING OR PROPOSED UTILITY PROVIDER.
 - PROPOSED CONDUITS SEE CONDUIT PLANS FOR SIZE, QUANTITY AND DESIGNATION
 - ALL LATERAL SEWER SERVICES TO BE 6" DIAMETER



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and Associates, Inc.
CIVIL ENGINEERING - LAND SURVEYING
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POST OFFICE DRAWER 2800
FORT MYERS, FLORIDA 33902-2800
PHONE (239) 461-3170
FAX (239) 461-3169

FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR



Meritage Homes
12220 TOWNE LAKE DRIVE, SUITE 75
FORT MYERS, FLORIDA 33913
PHONE (239) 768-3826
https://www.meritagehomes.com/

PROJECT DESCRIPTION

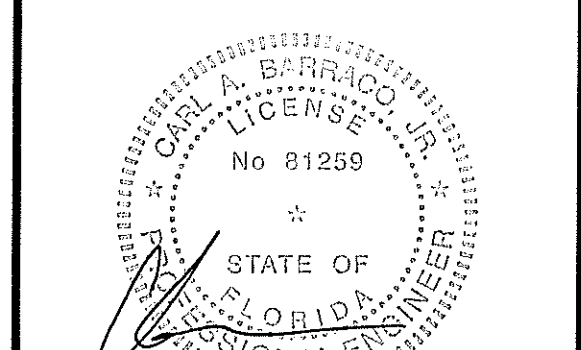
**CRESCENT LAKES
AT
BABCOCK
RANCH**

CHARLOTTE COUNTY, FLORIDA

ENGINEER OF RECORD

CARL A. BARRACO, JR., P.E., FOR THE FIRM
FLORIDA P.E. NO. 81259 - CARLJB@BARRACO.NET

OCT 18 2024



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FILE NAME: 24012R30J.DWG
LOCATION: J:\24012\DWG\RECORD\PH2\
PLOT DATE: WED, 3-27-2024 - 12:26 PM
PLOT BY: PEYTON GAUSE
CROSS REFERENCED DRAWINGS
BASEPLAN = 24012A00.DWG
PLAN = 24012P00.DWG
SURVEY = 23768500.DWG

PLAN REVISIONS

PLAN STATUS
RECORD DRAWINGS

**PLAN AND PROFILE
CABLE CREEK DRIVE
STA: 1000+00 TO 1007+00**

PROJECT / FILE NO.	SHEET NUMBER
24012	19.0

RECORD DRAWING

GENERAL NOTES:

1. BABCOCK RANCH COMMUNITY DESIGN & SPECIFICATION MANUAL (DSM) AND TCU STANDARD DETAILS SHALL GOVERN ALL UTILITY WORK UNDER CERTAIN CIRCUMSTANCES THE STANDARD SPECIFICATIONS AND/OR STANDARD DETAILS MAY BE MODIFIED BY THE SPECIAL PROVISION SECTION OF THE CONTRACT DOCUMENTS IN WHICH CASE THE SPECIAL PROVISIONS SHALL PREVAIL. WHEN A CONFLICT EXISTS AMONG THE REQUIREMENTS OF A REFERENCED MATERIAL OR INSTALLATION STANDARD, THE REQUIREMENTS OF TCU SHALL PREVAIL. WHERE THE REQUIREMENTS OF A STATE OR LOCAL AGENCY HAVING JURISDICTION ARE MORE STRINGENT, THOSE REQUIREMENTS SHALL PREVAIL.
2. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED LOCAL, COUNTY, AND STATE PERMITS PRIOR TO COMMENCING WORK AND SHALL KEEP ONE COPY OF ALL ISSUED PERMITS AT THE SITE AT ALL TIMES DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL ASSURE COMPLIANCE WITH ANY OSHA, EPA, AND/OR OTHER FEDERAL OR STATE OF FLORIDA RULES, REGULATIONS OR OTHER REQUIREMENTS, AS EACH MAY APPLY.
4. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE ONE CURRENT COPY OF TCU SPECIFICATIONS AND DESIGN DETAILS AND ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING ENGINEERING DRAWINGS, SPECIFICATIONS, SPECIAL PROVISIONS, ETC., NO FIELD CHANGES OR DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE MADE BY THE CONTRACTOR WITHOUT PRIOR TCU WRITTEN APPROVAL.
5. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE. THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE CALL" PRIOR TO START OF CONSTRUCTION. THE EXISTING UTILITIES SHOWN ON THE ENGINEERING DRAWINGS ARE FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL MARK LOCATIONS OF UTILITIES BY PAINTING AND/OR FLAGGING THE UTILITY ALIGNMENT. THE CONTRACTOR SHALL PERFORM EXPLORATORY EXCAVATIONS TO FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES COVERING THE PROTECTION OF SUCH WORK AND THE SAFETY MEASURES TO BE EMPLOYED THEREIN.
6. THE CONTRACTOR SHALL REVIEW THE SITE CONDITIONS PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BRING ENGINEERING DRAWING DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCING WORK.
7. THE CONTRACTOR SHALL CONTACT THE ISD, APPLICABLE COUNTY DEPARTMENTS AND ALL OTHER UTILITY COMPANIES A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITY CUSTOMERS 48 HOURS IN ADVANCE IF WATER AND/OR SEWER SERVICE WILL BE INTERRUPTED DURING CONSTRUCTION.

SCALE: N/A	BABCOCK RANCH WATER UTILITIES	GENERAL NOTES	PROVIDED FOR INFORMATION ONLY. NOT TO BE USED FOR CONSTRUCTION.
DATE: 11/27/2024			
DRAWN BY:			
APPROVED BY:			

9. IF EXISTING VALVES OR FITTINGS ARE NOT RESTRAINED PROPERLY, THE CONTRACTOR SHALL RESTRAIN EXISTING UTILITIES IN ACCORDANCE WITH TCU REQUIREMENTS AS APPROVED BY TCU.
10. THE CONTRACTOR SHALL INSTALL INCIDENTAL FITTINGS REQUIRED TO RESOLVE CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES AS DETERMINED IN THE FIELD UNLESS OTHERWISE SHOWN ON THE PLANS. ALL MATERIALS, EQUIPMENT, AND LABOR TO RESOLVE INCIDENTAL CONFLICTS SHALL BE PAID FOR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS.
11. ALL VALVES AND VALVE BOXES SHALL BE INSTALLED OUTSIDE OF PAVEMENTS, CURBS, AND GUTTERS UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE PLANS OR APPROVED BY TCU.
12. THE CONTRACTOR SHALL INSTALL ALL OPEN TRENCH BURY PIPE IN AN UPRIGHT VERTICAL POSITION SO ALL LETTERING AND/OR STRIPING CAN BE READ FROM ABOVE. DIRECTIONAL BORE HDPE PIPE SHALL MEET THIS REQUIREMENT TO THE EXTENT POSSIBLE.
13. THE CONTRACTOR SHALL PUSH HOME ALL SPIGOT ENDS OF PVC AND/OR DI PIPE INTO BELL ENDS WITHIN 1/2" OF THE MANUFACTURER'S INSERTION MARK. IF PIPE IS CUT, THE CONTRACTOR SHALL REPLACE AN INSERTION MARK FROM NEW END OF PIPE AS SHOWN ON THE ORIGINAL PIPE.
14. ALL STAINLESS STEEL SHALL BE 316 AUSTENITIC, NON-MAGNETIC UNLESS OTHERWISE APPROVED BY TCU.
15. MARKER BALLS AND METALLIC LOCATION TAPE MUST BE INSTALLED IN ACCORDANCE WITH THE TCU STANDARD DETAILS AND TCU STANDARD SPECIFICATIONS.

DUCTILE IRON EXTERNAL PROTECTIVE COATING

ALL EXPOSED DUCTILE IRON UTILITIES SHALL BE PAINTED AS FOLLOWS IN ACCORDANCE WITH TCU FIELD PAINTING SPECIFICATIONS:

TYPE	COLOR DESIGNATION*
POTABLE WATER LINES	BLUE (PANTONE 287)
POTABLE WATER VALVE CAPS	BLUE (PANTONE 287)
FIRE LINES	ANSI SAFETY RED (PANTONE 485)
FIRE LINE VALVE CAPS	ANSI SAFETY RED (PANTONE 485)
WASTE WATER LINES	ANSI SAFETY GREEN (PANTONE 3415)
WASTE WATER VALVE CAPS	ANSI SAFETY GREEN (PANTONE 3415)
RECLAIMED WATER LINES	PURPLE (PANTONE 522C)
RECLAIMED WATER VALVE CAPS	PURPLE (PANTONE 522C)
FIRE HYDRANTS	ANSI SAFETY YELLOW (PANTONE 109)
FIRE HYDRANT VALVE CAPS	ANSI SAFETY YELLOW (PANTONE 109)
FIRE HYDRANTS (RECLAIMED WATER)	PURPLE (PANTONE 522C)
FIRE HYDRANT VALVE CAPS (RECLAIMED WATER)	PURPLE (PANTONE 522C)

*Equivalent colors matching these colors are acceptable. Provide with Shop Drawing submittal direct color comparisons of color numbers available from manufacturer submitted.

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CONSTRUCTION IN STREETS AND ROAD RIGHT-OF-WAYS:

1. OPEN ROAD CUTS REQUIRE PRIOR APPROVAL/PERMIT OF THE ISD, COUNTY, STATE, OR OTHER AGENCY HAVING JURISDICTION. CONSTRUCTION WITHIN THE FLORIDA DEPARTMENT OF TRANSPORTATION (DOT) RIGHT-OF-WAY SHALL CONFORM TO FLORIDA DOT CONSTRUCTION STANDARDS. THE AGENCY HAVING JURISDICTION SHALL BE NOTIFIED 48-HOURS IN ADVANCE OF ALL APPROVED OPEN ROAD CUTS WITHIN ROADWAYS/RIGHT-OF-WAYS.
2. THE CONTRACTOR SHALL MAINTAIN PEDESTRIAN TRAFFIC AT THE JOB SITE DURING CONSTRUCTION IN ACCORDANCE WITH THE PERMIT AND SAFETY REQUIREMENTS FOR THE PROJECT. PROPER DETOUR SHALL BE PROVIDED AS NECESSARY.
3. EXCAVATION SHALL BE CONDUCTED IN A MANNER TO CAUSE THE LEAST POSSIBLE INTERRUPTION TO TRAFFIC. WHERE TRAFFIC MUST CROSS EXCAVATIONS, THE CONTRACTOR SHALL PROVIDE SUITABLE BRIDGES AT STREET INTERSECTIONS AND DRIVEWAYS.
4. NOT MORE THAN ONE BLOCK OF EXCAVATION SHALL BE OPEN PER CREW AT ANY ONE TIME, AND THIS DISTANCE SHALL BE REDUCED IF CONSTRUCTION CAUSES EXCESSIVE INTERFERENCE WITH TRAFFIC. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC AND PEDESTRIAN SAFETY AT ALL TIMES. ALL EXCAVATED AND/OR STORED MATERIAL SHALL BE REMOVED FROM THE PAVEMENTS AT THE END OF THE WORK DAY UNLESS OTHERWISE PROVIDED FOR IN THE CONTRACT DOCUMENTS.
5. THE CONTRACTOR SHALL CARRY OUT THE WORK SO AS NOT TO DENY UNREASONABLE ACCESS TO PRIVATE PROPERTY. ALL ACCESS SHALL BE RESTORED AT THE END OF THE WORK DAY.
6. ALL UTILITY ACCESS MANHOLES, VALVES, AND FIRE HYDRANTS AND MAIL BOXES SHALL BE ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION.
7. ROAD SURFACE RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH THE BABCOCK RANCH COMMUNITY DESIGN & SPECIFICATION MANUAL (DSM), FLORIDA DEPARTMENT OF TRANSPORTATION, OR OTHER GOVERNING AGENCY REQUIREMENTS.
8. THE CONTRACTOR SHALL REPLACE ALL PAVEMENT MARKINGS DAMAGED DURING THE PROJECT.

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CONSTRUCTION IN STREETS AND ROAD RIGHT-OF-WAYS:

1. TRAFFIC CONTROL ON ALL ISD, COUNTY, AND STATE HIGHWAY RIGHT-OF-WAYS SHALL COMPLY WITH THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND REQUIREMENTS OF THE STATE AND/OR ANY OTHER LOCAL AGENCY HAVING JURISDICTION.
2. WORK AFFECTING TRAFFIC ON ANY, ISD OR COUNTY, STREET, ROADWAY, RIGHT-OF-WAY, BIKE PATH, OR SIDEWALK REQUIRES THE PREPARATION AND SUBMITTAL OF MAINTENANCE OF TRAFFIC (MOT) PLAN BY THE CONTRACTOR TO THE ISD OR COUNTY ENGINEER. THE MOT PLAN SHALL BE APPROVED BY THE APPROPRIATE ISD OR COUNTY ENGINEER OR HIS/HER DESIGNEE PRIOR TO THE START OF CONSTRUCTION.
3. WORK AFFECTING TRAFFIC ON ANY STATE ROAD OR HIGHWAY REQUIRES THE PREPARATION AND SUBMITTAL OF A MOT PLAN BY THE CONTRACTOR TO THE FDOT. THE MOT PLAN SHALL BE APPROVED BY THE FDOT PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE IN FULL COMPLIANCE WITH THE APPROVED MOT PLAN AT ALL TIMES.
5. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL TRAFFIC CONTROL SIGNS AND DEVICES, BARRICADES, FLASHERS, ETC. IN WORKING CONDITION AT ALL TIMES.
6. ROAD CLOSURE WHETHER TEMPORARY ON A DAILY BASIS OR PERMANENTLY DURING CONSTRUCTION REQUIRES THE APPROVAL OF A DETOUR PLAN BY THE AGENCY OR AGENCIES HAVING JURISDICTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TEMPORARY SIGNAGE WHEN THE ROADWAY IS TO BE CLOSED OR TRAFFIC WHEN ROAD CLOSURES ARE TEMPORARY ALL STREETS SHALL BE RE-OPENED DETOURED TO TRAFFIC BY THE END OF THE WORK DAY AND ALL DETOUR SIGNS COVERED OR REMOVED. WHEN ROADS ARE PERMANENTLY CLOSED DURING CONSTRUCTION ACCESS MUST BE PROVIDED TO PROPERTIES LOCATED ON THE CLOSED ROAD AT THE END OF EACH WORK DAY AND ON WEEKENDS.
7. DURING NON-DAY LIGHT HOURS OR RESTRICTED VISIBILITY, THE CONTRACTOR SHALL PROPERLY ILLUMINATE THE WORK BY THE INSTALLATION AND MAINTENANCE OF SUITABLE LIGHTS OR FLARES ESPECIALLY ALONG OR ACROSS THOROUGHFARES.

ENVIRONMENTAL REQUIREMENTS:

1. THE CONTRACTOR SHALL REFER TO TCU STANDARDS SPECIFICATIONS FOR "EROSION AND SEDIMENT CONTROL".
2. PRIOR TO THE START AND DURING CONSTRUCTION ACTIVITIES, FOR AREAS WITHIN AND ADJOINING THE LIMITS OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE PROTECTION BARRICADES/SILT FENCES/ADEQUATE MEASURES IN ACCORDANCE WITH ISD, COUNTY, AND STATE REQUIREMENTS FOR ALL DESIGNATED TREES/PLANTS TO BE PROTECTED, WETLANDS, THREATENED AND/OR ENDANGERED SPECIES ETC.

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BEDDING, BACKFILL, AND COMPACTION:

1. ALL PIPES BEDDING MATERIAL SHALL BE NEW MATERIAL UNLESS OTHERWISE APPROVED BY TCU.
2. FOUNDATION MATERIAL OF BEDDING STONE SHALL BE USED FOR BEDDING OF PIPE AND/OR MANHOLES AS INDICATED ON THE ENGINEERING DRAWINGS. CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, AND SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES AND OTHER DELETERIOUS MATERIALS. THE STONE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C33, SIZE NO. 57 (3/4 INCH STONE) AND BE GRADED WITHIN THE FOLLOWING LIMITS:

U.S. SIEVE SIZE	PERCENT FINER BY WEIGHT
1 1/2 INCH	100
1 INCH	95-100
1/2 INCH	25-100
NO. 4	0-10
NO. 8	0-5
3. SAND FOR BEDDING OF THE POLYVINYL CHLORIDE (PVC) GRAVITY SEWER PIPE SHALL BE A DRY SCREENED AND GRADED MATERIAL WITH 85 PERCENT PASSING 1 INCH SIEVE AND NOT MORE THAN FIVE PERCENT PASSING A NO. 200 SIEVE. ALL PVC GRAVITY SEWER PIPE SHALL BE INSTALLED AND BEDDED IN ACCORDANCE WITH ASTM SPECIFICATION D-2321, "RECOMMENDED PRACTICE FOR UNDERGROUND INSTALLATION OF FLEXIBLE THERMOPLASTIC SEWER PIPE".
4. FOUNDATION STABILIZATION MATERIAL SHALL MEET TCU STANDARD SPECIFICATIONS OR DESIGN DETAILS. IF DETERMINED BY TCU THE MATERIAL IN THE BOTTOM OF THE TRENCH IS UNSUITABLE FOR SUPPORTING THE PIPE, THE CONTRACTOR SHALL EXCAVATE BELOW THE FLOW LINE OF THE PIPE. THE TRENCH SHALL BE BACKFILLED TO SPECIFIED GRADE WITH FOUNDATION STABILIZATION MATERIAL. IF THE TRENCH IS PROPERLY BEDDED, TCU APPROVED BACKFILL MATERIAL MAY BE USED FOR STABILIZATION. CRUSHED ROCK (NO. 57 STONE) SHALL BE USED WHEN A DRY TRENCH CANNOT BE OBTAINED. THE FOUNDATION STABILIZATION MATERIAL SHALL BE PLACED OVER THE FULL WIDTH OF THE TRENCH AND COMPACTED IN LAYERS NOT EXCEEDING SIX INCHES DEEP TO THE REQUIRED GRADE.
5. BACKFILLING OF TRENCHES SHALL NOT BE ALLOWED UNTIL THE WORK HAS BEEN APPROVED BY TCU. WORK BACKFILLED OR CONCEALED WITHOUT THE KNOWLEDGE OF TCU SHALL BE UNCOVERED OR EXPOSED FOR INSPECTION AT NO COST TO THE OWNER.

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6. BACKFILL MATERIAL PLACED WITHIN ONE FOOT OF PIPING AND APPURTENANCES OR IN THE UPPER SIX INCHES OF ALL BACKFILL AND FILLS SHALL NOT CONTAIN ANY STONES OR ROCKS LARGER THAN ONE INCH IN DIAMETER. EXISTING BACKFILL MATERIAL SHALL MEET THE ABOVE REQUIREMENTS AS APPROVED BY TCU. BROKEN CONCRETE SHALL NOT BE USED. OUTSIDE THE PIPE ZONE, FILL MATERIAL CONTAINING LIME ROCK SHALL HAVE SUFFICIENT SAND TO FILL THE VOIDS IN THE LIME ROCK. NO STONES OR ROCKS LARGER THAN THREE INCHES IN DIAMETER SHALL BE USED IN ANY BACKFILL.
7. MATERIAL SUITABLE FOR BACKFILL IN A PROPERLY DEWATERED TRENCH SHALL NOT BE EXPANSIVE NOR HAVE HIGH ORGANIC CONTENT; SHALL BE FREE OF DEBRIS, LUMPS AND CLODS; AND SHALL MEET THE FOLLOWING REQUIREMENTS:
 - a. MAXIMUM LIQUID LIMIT SHALL NOT EXCEED 12 AS DETERMINED BY ASTM D423.
 - b. MAXIMUM PLASTICITY INDEX SHALL NOT EXCEED 35 AS DETERMINED BY ASTM D424.
 - c. NOT MORE THAN 10% OF WEIGHT SHALL BE FINER THAN 75 MICRON (NO. 200) U.S. STANDARD SIEVE.
8. READY-MIX FLOWABLE FILL OR CONTROLLED LOW STRENGTH MATERIAL (CLSM) MAY BE SUBSTITUTED AS AN ALTERNATIVE TO COMPACTED SOIL WITH THE APPROVAL OF TCU OR WHERE SHOWN ON THE ENGINEERING DRAWINGS. APPLICATIONS FOR THE MATERIAL INCLUDE BEDDINGS, ENCASEMENTS, CLOSURES FOR TANKS AND PIPES, AND GENERAL BACKFILL APPLICATIONS FOR TRENCHES AND ABUTMENTS. FLOWABLE FILL SHALL BE DESIGNED TO BE EXCAVATED AND PUMPED FOR APPLICATIONS WHERE STRENGTH IS MORE IMPORTANT THAN EXCAVATABILITY. IF FLOWABLE FILL IS SPECIFIED, ULTIMATE COMPRESSIVE STRENGTH SHALL BE LESS THAN 200 PSI AT 28 DAYS. FLOWABLE FILL IS NOT ACCEPTABLE FOR USE AS BACKFILL UNDER PAVEMENT, SIDEWALKS OR OTHER HARD SURFACES UNLESS OTHERWISE APPROVED IN WRITING BY AUTHORITY WITH JURISDICTION.
9. THE CONTRACTOR SHALL COMPACT ALL PORTIONS OF A TRENCH WITHIN 7.5' OF EXISTING EDGE OF PAVEMENT TO 88% DENSITY, AASHTO T-180, AND 95% FOR OTHER AREAS WITHIN THE RIGHT OF WAY. IF MORE STRINGENT COMPACTION REQUIREMENTS ARE SHOWN ON THE PLANS OR IN THE CONTRACT DOCUMENTS THEY SHALL PREVAIL.
10. COMPACTION OF BACKFILL MATERIAL UNDER PAVEMENT, SIDEWALKS, OR OTHER HARD SURFACES SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
11. DENSITY TESTS SHALL BE PERFORMED FOR EACH 6" LIFT AT A MINIMUM OF ONE TEST PER 200 FEET OF TRENCH.
12. ALL WELL POINT HOLES UNDER PARKING, DRIVING, OR ROADWAY SURFACES SHALL BE BACKFILLED WITH CONCRETE IMMEDIATELY AFTER PULLING THE WELL POINTS. ALL OTHER WELL POINT HOLES SHALL BE BACKFILLED WITH FOOT NO. 89 STONE IMMEDIATELY AFTER REMOVING THE WELL POINTS UNLESS SPECIFIED OR DIRECTED TO DO OTHERWISE BY TCU.

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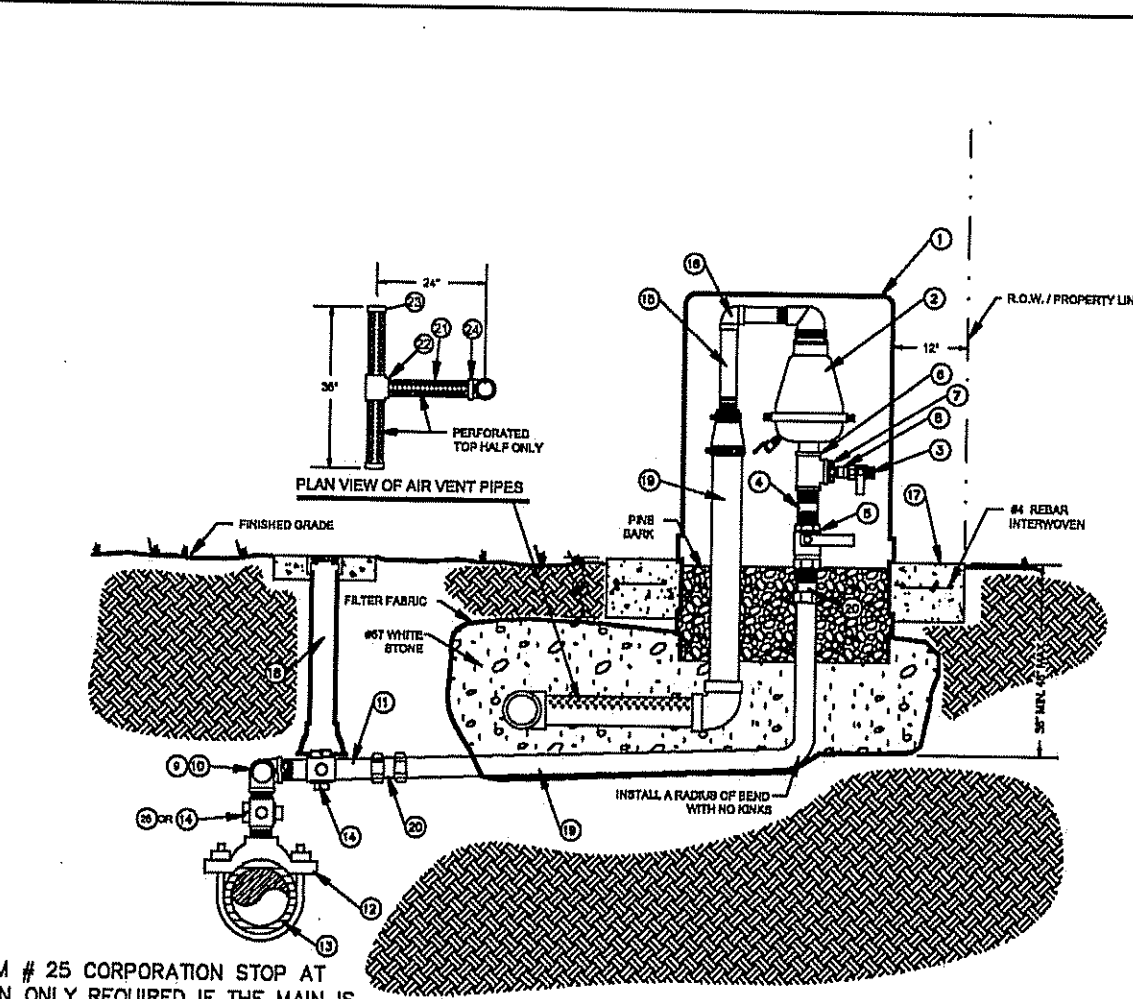
MATERIALS AND METHODS OF CONSTRUCTION:

ALL MATERIALS AND CONSTRUCTION METHODS USED IN THE CONSTRUCTION OF TCU'S UTILITIES INCLUDING BUT NOT LIMITED TO PIPING, VALVES, FITTINGS, RESTRAINTS, FIRE HYDRANTS, BLOW-OFFS, GRAVITY SEWER MAINS, MANHOLES, LIFT STATIONS, WATER AND SEWER SERVICES AND ALL ASSOCIATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE BABCOCK RANCH COMMUNITY DESIGN & SPECIFICATION MANUAL (DSM) UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS.

RESTORATION:

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED OR DAMAGED AREAS TO THE SAME OR BETTER CONDITION THAN THAT PRIOR TO THE START OF CONSTRUCTION.
2. ALL AREAS IN EXISTING RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO EQUAL OR BETTER THAN THE ORIGINAL CONDITION AND GROUND COVER TO THE SATISFACTION OF THE LOCAL OR STATE AGENCY HAVING JURISDICTION.
3. ALL DISTURBED SWALE OR CANAL GRADES SHALL BE RESTORED TO THE GRADES AND ELEVATIONS THAT EXISTED PRIOR TO DISTURBANCE UNLESS OTHERWISE SPECIFIED ON THE ENGINEERING DRAWINGS OR IN THE CONTRACT DOCUMENTS.

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ITEM # 25 CORPORATION STOP AT MAIN ONLY REQUIRED IF THE MAIN IS NOT TAPPED

MATERIALS			
ITEM	QUANTITY	DESCRIPTION	
1	1	ENCLOSURE (SEWER TRENCH)	13 1 2" LARGEST PIPE, CL. PVC BELL, 10' L
2	1	AIR RELEASE VALVE	14 1 2" AIR VALVE
3	1	1" CURB STOP - BRASS	15 1 1/2" PIP, 1/2" LARGEST, 10' L
4	2	2" FEMALE - BRASS	16 1 1/2" 1/2" ELBOW - 10' L
5	2	2" MALE - BRASS	17 1 1/2" 1/2" ELBOW - 10' L
6	1	2" TEE - BRASS	18 1 1/2" 1/2" ELBOW - 10' L
7	1	2" TEE - BRASS	19 1 1/2" 1/2" ELBOW - 10' L
8	1	2" TEE - BRASS	20 1 1/2" 1/2" ELBOW - 10' L
9	1	2" TEE - BRASS	21 1 1/2" 1/2" ELBOW - 10' L
10	2	2" TEE - BRASS	22 1 1/2" 1/2" ELBOW - 10' L
11	2	2" TEE - BRASS	23 1 1/2" 1/2" ELBOW - 10' L
12	1	2" TEE - BRASS	24 1 1/2" 1/2" ELBOW - 10' L
13	1	2" TEE - BRASS	25 1 1/2" 1/2" ELBOW - 10' L
14	1	2" TEE - BRASS	26 1 1/2" 1/2" ELBOW - 10' L
15	1	2" TEE - BRASS	27 1 1/2" 1/2" ELBOW - 10' L
16	1	2" TEE - BRASS	28 1 1/2" 1/2" ELBOW - 10' L
17	1	2" TEE - BRASS	29 1 1/2" 1/2" ELBOW - 10' L
18	1	2" TEE - BRASS	30 1 1/2" 1/2" ELBOW - 10' L
19	1	2" TEE - BRASS	31 1 1/2" 1/2" ELBOW - 10' L
20	1	2" TEE - BRASS	32 1 1/2" 1/2" ELBOW - 10' L
21	1	2" TEE - BRASS	33 1 1/2" 1/2" ELBOW - 10' L
22	1	2" TEE - BRASS	34 1 1/2" 1/2" ELBOW - 10' L
23	1	2" TEE - BRASS	35 1 1/2" 1/2" ELBOW - 10' L
24	1	2" TEE - BRASS	36 1 1/2" 1/2" ELBOW - 10' L
25	1	2" TEE - BRASS	37 1 1/2" 1/2" ELBOW - 10' L
26	1	2" TEE - BRASS	38 1 1/2" 1/2" ELBOW - 10' L
27	1	2" TEE - BRASS	39 1 1/2" 1/2" ELBOW - 10' L
28	1	2" TEE - BRASS	40 1 1/2" 1/2" ELBOW - 10' L
29	1	2" TEE - BRASS	41 1 1/2" 1/2" ELBOW - 10' L
30	1	2" TEE - BRASS	42 1 1/2" 1/2" ELBOW - 10' L
31	1	2" TEE - BRASS	43 1 1/2" 1/2" ELBOW - 10' L
32	1	2" TEE - BRASS	44 1 1/2" 1/2" ELBOW - 10' L
33	1	2" TEE - BRASS	45 1 1/2" 1/2" ELBOW - 10' L
34	1	2" TEE - BRASS	46 1 1/2" 1/2" ELBOW - 10' L
35	1	2" TEE - BRASS	47 1 1/2" 1/2" ELBOW - 10' L
36	1	2" TEE - BRASS	48 1 1/2" 1/2" ELBOW - 10' L
37	1	2" TEE - BRASS	49 1 1/2" 1/2" ELBOW - 10' L
38	1	2" TEE - BRASS	50 1 1/2" 1/2" ELBOW - 10' L
39	1	2" TEE - BRASS	51 1 1/2" 1/2" ELBOW - 10' L
40	1	2" TEE - BRASS	52 1 1/2" 1/2" ELBOW - 10' L
41	1	2" TEE - BRASS	53 1 1/2" 1/2" ELBOW - 10' L
42	1	2" TEE - BRASS	54 1 1/2" 1/2" ELBOW - 10' L
43	1	2" TEE - BRASS	55 1 1/2" 1/2" ELBOW - 10' L
44	1	2" TEE - BRASS	56 1 1/2" 1/2" ELBOW - 10' L
45	1	2" TEE - BRASS	57 1 1/2" 1/2" ELBOW - 10' L
46	1	2" TEE - BRASS	58 1 1/2" 1/2" ELBOW - 10' L
47	1	2" TEE - BRASS	59 1 1/2" 1/2" ELBOW - 10' L
48	1	2" TEE - BRASS	60 1 1/2" 1/2" ELBOW - 10' L
49	1	2" TEE - BRASS	61 1 1/2" 1/2" ELBOW - 10' L
50	1	2" TEE - BRASS	62 1 1/2" 1/2" ELBOW - 10' L
51	1	2" TEE - BRASS	63 1 1/2" 1/2" ELBOW - 10' L
52	1	2" TEE - BRASS	64 1 1/2" 1/2" ELBOW - 10' L
53	1	2" TEE - BRASS	65 1 1/2" 1/2" ELBOW - 10' L
54	1	2" TEE - BRASS	66 1 1/2" 1/2" ELBOW - 10' L
55	1	2" TEE - BRASS	67 1 1/2" 1/2" ELBOW - 10' L
56	1	2" TEE - BRASS	68 1 1/2" 1/2" ELBOW - 10' L
57	1	2" TEE - BRASS	69 1 1/2" 1/2" ELBOW - 10' L
58	1	2" TEE - BRASS	70 1 1/2" 1/2" ELBOW - 10' L
59	1	2" TEE - BRASS	71 1 1/2" 1/2" ELBOW - 10' L
60	1	2" TEE - BRASS	72 1 1/2" 1/2" ELBOW - 10' L
61	1	2" TEE - BRASS	73 1 1/2" 1/2" ELBOW - 10' L
62	1	2" TEE - BRASS	74 1 1/2" 1/2" ELBOW - 10' L
63	1	2" TEE - BRASS	75 1 1/2" 1/2" ELBOW - 10' L
64	1	2" TEE - BRASS	76 1 1/2" 1/2" ELBOW - 10' L
65	1	2" TEE - BRASS	77 1 1/2" 1/2" ELBOW - 10' L
66	1	2" TEE - BRASS	78 1 1/2" 1/2" ELBOW - 10' L
67	1	2" TEE - BRASS	79 1 1/2" 1/2" ELBOW - 10' L
68	1	2" TEE - BRASS	80 1 1/2" 1/2" ELBOW - 10' L
69	1	2" TEE - BRASS	81 1 1/2" 1/2" ELBOW - 10' L
70	1	2" TEE - BRASS	82 1 1/2" 1/2" ELBOW - 10' L
71	1	2" TEE - BRASS	83 1 1/2" 1/2" ELBOW - 10' L
72	1	2" TEE - BRASS	84 1 1/2" 1/2" ELBOW - 10' L
73	1	2" TEE - BRASS	85 1 1/2" 1/2" ELBOW - 10' L
74	1	2" TEE - BRASS	86 1 1/2" 1/2" ELBOW - 10' L
75	1	2" TEE - BRASS	87 1 1/2" 1/2" ELBOW - 10' L
76	1	2" TEE - BRASS	88 1 1/2" 1/2" ELBOW - 10' L
77	1	2" TEE - BRASS	89 1 1/2" 1/2" ELBOW - 10' L
78	1	2" TEE - BRASS	90 1 1/2" 1/2" ELBOW - 10' L
79	1	2" TEE - BRASS	91 1 1/2" 1/2" ELBOW - 10' L
80	1	2" TEE - BRASS	92 1 1/2" 1/2" ELBOW - 10' L
81	1	2" TEE - BRASS	93 1 1/2" 1/2" ELBOW - 10' L
82	1	2" TEE - BRASS	94 1 1/2" 1/2" ELBOW - 10' L
83	1	2" TEE - BRASS	95 1 1/2" 1/2" ELBOW - 10' L
84	1	2" TEE - BRASS	96 1 1/2" 1/2" ELBOW - 10' L
85	1	2" TEE - BRASS	97 1 1/2" 1/2" ELBOW - 10' L
86	1	2" TEE - BRASS	98 1 1/2" 1/2" ELBOW - 10' L
87	1	2" TEE - BRASS	99 1 1/2" 1/2" ELBOW - 10' L
88	1	2" TEE - BRASS	100 1 1/2" 1/2" ELBOW - 10' L
89	1	2" TEE - BRASS	101 1 1/2" 1/2" ELBOW - 10' L
90	1	2" TEE - BRASS	102 1 1/2" 1/2" ELBOW - 10' L
91	1	2" TEE - BRASS	103 1 1/2" 1/2" ELBOW - 10' L
92	1	2" TEE - BRASS	104 1 1/2" 1/2" ELBOW - 10' L
93	1	2" TEE - BRASS	105 1 1/2" 1/2" ELBOW - 10' L
94	1	2" TEE - BRASS	106 1 1/2" 1/2" ELBOW - 10' L
95	1	2" TEE - BRASS	107 1 1/2" 1/2" ELBOW - 10' L
96	1	2" TEE - BRASS	108 1 1/2" 1/2" ELBOW - 10' L
97	1	2" TEE - BRASS	109 1 1/2" 1/2" ELBOW - 10' L
98	1	2" TEE - BRASS	110 1 1/2" 1/2" ELBOW - 10' L
99	1	2" TEE - BRASS	111 1 1/2" 1/2" ELBOW - 10' L
100	1	2" TEE - BRASS	112 1 1/2" 1/2" ELBOW - 10' L
101	1	2" TEE - BRASS	113 1 1/2" 1/2" ELBOW - 10' L
102	1	2" TEE - BRASS	114 1 1/2" 1/2" ELBOW - 10' L
103	1	2" TEE - BRASS	115 1 1/2" 1/2" ELBOW - 10' L
104	1	2" TEE - BRASS	116 1 1/2" 1/2" ELBOW - 10' L
105	1	2" TEE - BRASS	117 1 1/2" 1/2" ELBOW - 10' L
106	1	2" TEE - BRASS	118 1 1/2" 1/2" ELBOW - 10' L
107	1	2" TEE - BRASS	119 1 1/2" 1/2" ELBOW - 10' L
108	1	2" TEE - BRASS	120 1 1/2" 1/2" ELBOW - 10' L
109	1	2" TEE - BRASS	121 1 1/2" 1/2" ELBOW - 10' L
110	1	2" TEE - BRASS	122 1 1/2" 1/2" ELBOW - 10' L
111	1	2" TEE - BRASS	123 1 1/2" 1/2" ELBOW - 10' L
112	1	2" TEE - BRASS	124 1 1/2" 1/2" ELBOW - 10' L
113	1	2" TEE - BRASS	125 1 1/2" 1/2" ELBOW - 10' L
114	1	2" TEE - BRASS	126 1 1/2" 1/2" ELBOW - 10' L
115	1	2" TEE - BRASS	127 1 1/2" 1/2" ELBOW - 10' L
116	1	2" TEE - BRASS	128 1 1/2" 1/2" ELBOW - 10' L
117	1	2" TEE - BRASS	129 1 1/2" 1/2" ELBOW - 10' L
118	1	2" TEE - BRASS	130 1 1/2" 1/2" ELBOW - 10' L
119	1	2" TEE - BRASS	131 1 1/2" 1/2" ELBOW - 10' L
120	1	2" TEE - BRASS	132 1 1/2" 1/2" ELBOW - 10' L
121	1	2" TEE - BRASS	133 1 1/2" 1/2" ELBOW - 10' L
122	1	2" TEE - BRASS	134 1 1/2" 1/2" ELBOW - 10' L
123	1	2" TEE - BRASS	135 1 1/2" 1/2" ELBOW - 10' L
124	1	2" TEE - BRASS	136 1 1/2" 1/2" ELBOW - 10' L
125	1	2" TEE - BRASS	137 1 1/2" 1/2" ELBOW - 10' L
126	1	2" TEE - BRASS	138 1 1/2" 1/2" ELBOW - 10' L
127	1	2" TEE - BRASS	139 1 1/2" 1/2" ELBOW - 10' L
128	1	2" TEE - BRASS	140 1 1/2" 1/2" ELBOW - 10' L
129	1	2" TEE - BRASS	141 1 1/2" 1/2" ELBOW - 10' L
130	1	2" TEE - BRASS	142 1 1/2" 1/2" ELBOW - 10' L
131	1	2" TEE - BRASS	143 1 1/2" 1/2" ELBOW - 10' L
132	1	2" TEE - BRASS	144 1 1/2" 1/2" ELBOW - 10' L
133	1	2" TEE - BRASS	145 1 1/2" 1/2" ELBOW - 10' L
134	1	2" TEE - BRASS	146 1 1/2" 1/2" ELBOW - 10' L
135	1	2" TEE - BRASS	147 1 1/2" 1/2" ELBOW - 10' L
136	1	2" TEE - BRASS	148 1 1/2" 1/2" ELBOW - 10' L
137	1	2" TEE - BRASS	149 1 1/2" 1/2" ELBOW - 10' L
138	1	2" TEE - BRASS	150 1 1/2" 1/2" ELBOW - 10' L
139	1	2" TEE - BRASS	151 1 1/2" 1/2" ELBOW - 10' L
140	1	2" TEE - BRASS	152 1 1/2" 1/2" ELBOW - 10' L
141	1	2" TEE - BRASS	153 1 1/2" 1/2" ELBOW - 10' L
142	1	2" TEE - BRASS	154 1 1/2" 1/2" ELBOW - 10' L
143	1	2" TEE - BRASS	155 1 1/2" 1/2" ELBOW - 10' L
144	1	2" TEE - BRASS	156 1 1/2" 1/2" ELBOW - 10' L
145	1	2" TEE - BRASS	157 1 1/2" 1/2" ELBOW - 10' L
146	1	2" TEE - BRASS	158 1 1/2" 1/2" ELBOW - 10' L
147	1	2" TEE - BRASS	159 1 1/2" 1/2" ELBOW - 10' L
148	1	2" TEE - BRASS	160 1 1/2" 1/2" ELBOW - 10' L
149	1	2" TEE - BRASS	161 1 1/2" 1/2" ELBOW - 10' L
150	1	2" TEE - BRASS	162 1 1/2" 1/2" ELBOW - 10' L
151	1	2" TEE - BRASS	163 1 1/2" 1/2" ELBOW - 10' L
152	1	2" TEE - BRASS	164 1 1/2" 1/2" ELBOW - 10' L
153	1	2" TEE - BRASS	165 1 1/2" 1/2" ELBOW - 10' L
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155	1	2" TEE - BRASS	167 1 1/2" 1/2" ELBOW - 10' L
156	1	2" TEE - BRASS	168 1 1/2" 1/2" ELBOW - 10' L
157	1	2" TEE - BRASS	169 1 1/2" 1/2" ELBOW - 10' L
158	1	2" TEE - BRASS	170 1 1/2" 1/2" ELBOW - 10' L
159	1	2" TEE - BRASS	171 1 1/2" 1/2" ELBOW - 10' L
160	1	2" TEE - BRASS	172 1 1/2" 1/2" ELBOW - 10' L
161	1	2" TEE - BRASS	173 1 1/2" 1/2" ELBOW - 10' L
162	1	2" TEE - BRASS	174 1 1/2" 1/2" ELBOW - 10' L
163	1	2" TEE - BRASS	175 1 1/2" 1/2" ELBOW - 10' L
164	1	2" TEE - BRASS	176 1 1/2" 1/2" ELBOW - 10' L
165	1	2" TEE - BRASS	177 1 1/2" 1/2" ELBOW - 10' L
166	1	2" TEE - BRASS	178 1 1/2" 1/2" ELBOW - 10' L
167	1	2" TEE - BRASS	179 1 1/2" 1/2" ELBOW - 10' L
168	1	2" TEE - BRASS	180 1 1/2" 1/2" ELBOW - 10' L
169	1	2" TEE - BRASS	181 1 1/2" 1/2" ELBOW - 10' L
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172	1	2" TEE - BRASS	184 1 1/2" 1/2" ELBOW - 10' L
173	1	2" TEE - BRASS	185 1 1/2" 1/2" ELBOW - 10' L
174	1	2" TEE - BRASS	186 1 1/2" 1/2" ELBOW - 10' L
175	1	2" TEE - BRASS	187 1 1/2" 1/2" ELBOW - 10' L
176	1	2" TEE - BRASS	188 1 1/2" 1/2" ELBOW - 10' L
177	1	2" TEE - BRASS	189 1 1/2" 1/2" ELBOW - 10' L
178	1	2" TEE - BRASS	190 1 1/2" 1/2" ELBOW - 10' L
179	1	2" TEE - BRASS	191 1 1/2" 1/2" ELBOW - 10' L
180	1	2" TEE - BRASS	192 1 1/2" 1/2" ELBOW - 10' L
181	1	2" TEE - BRASS	193 1 1/2" 1/2" ELBOW - 10' L
182	1	2" TEE - BRASS	194 1 1/2" 1/2" ELBOW - 10' L
183	1	2" TEE - BRASS	195 1 1/2" 1/2" ELBOW - 10' L
184	1	2" TEE - BRASS	196 1 1/2" 1/2" ELBOW - 10' L
185	1	2" TEE - BRASS	197 1 1/2" 1/2" ELBOW - 10' L
186	1	2" TEE - BRASS	198 1 1/2" 1/2" ELBOW - 10' L
187	1	2" TEE - BRASS	199 1 1/2" 1/2" ELBOW - 10' L
188	1	2" TEE - BRASS	200 1 1/2" 1/2" ELBOW - 10' L
189	1	2" TEE - BRASS	201 1 1/2" 1/2" ELBOW - 10' L
190	1	2" TEE - BRASS	202 1 1/2" 1/2" ELBOW - 10' L
191	1	2" TEE - BRASS	203 1 1/2" 1/2" ELBOW - 10' L
192	1	2" TEE - BRASS	204 1 1/2" 1/2" ELBOW - 10' L
193	1	2" TEE - BRASS	205 1 1/2" 1/2" ELBOW - 10' L
194	1	2" TEE - BRASS	206 1 1/2" 1/2" ELBOW - 10' L
195	1	2" TEE - BRASS	207 1 1/2" 1/2" ELBOW - 10' L
196	1	2" TEE - BRASS	208 1 1/2" 1/2" ELBOW - 10' L
197	1	2" TEE - BRASS	209 1 1/2" 1/2" ELBOW - 10' L
198	1	2" TEE - BRASS	210 1 1/2" 1/2" ELBOW - 10' L
199	1	2" TEE - BRASS	211 1 1/2" 1/2" ELBOW - 10' L
200	1	2" TEE - BRASS	212 1 1/2" 1/2" ELBOW - 10' L
201	1	2" TEE - BRASS	213 1 1/2" 1/2" ELBOW - 10' L
202	1	2" TEE - BRASS	214 1 1/2" 1/2" ELBOW - 10' L
203	1	2" TEE - BRASS	215 1 1/2" 1/2" ELBOW - 10' L
204	1	2" TEE - BRASS	216 1 1/2" 1/2" ELBOW - 10' L
205	1	2" TEE - BRASS	217 1 1/2" 1/2" ELBOW - 10' L
206	1	2" TEE - BRASS	218 1 1/2" 1/2" ELBOW - 10' L
207	1	2" TEE - BRASS	219 1 1/2" 1/2" ELBOW - 10' L
208	1	2" TEE - BRASS	220 1 1/2" 1/2" ELBOW - 10' L
209	1	2" TEE - BRASS	221 1 1/2" 1/2" ELBOW - 10' L
210	1	2" TEE - BRASS	222 1 1/2" 1/2" ELBOW - 10' L
211	1	2" TEE - BRASS	223 1 1/2" 1/2" ELBOW - 10' L
212	1	2" TEE - BRASS	224 1 1/2" 1/2" ELBOW - 10' L
213	1	2" TEE - BRASS	225

SCALE: N/A	BABCOCK RANCH WATER UTILITIES	LOW PRESSURE & FORCE MAIN SEWER AUTO-AIR RELEASE VALVE ASSEMBLY W/ ODOOR CONTROL SYSTEM	PROVIDED FOR INFORMATION ONLY. NOT TO BE USED FOR CONSTRUCTION.
DATE: 11/27/2024			
DRAWN BY:			
APPROVED BY:			

Barraco and Associates, Inc.

CIVIL ENGINEERING - LAND SURVEYING
LAND PLANNING

www.barraco.net

2271 MCGREGOR BLVD., SUITE 100
POST OFFICE DRAWER 2800
FORT MYERS, FLORIDA 33902-2800
PHONE (239) 461-3170
FAX (239) 461-3169

FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7895 - SURVEYING LB-6940

PREPARED FOR



Meritage Homes

12220 TOWNNE LAKE DRIVE, SUITE 75
FORT MYERS, FLORIDA 33913
PHONE (239) 768-3826
https://www.meritagehomes.com/

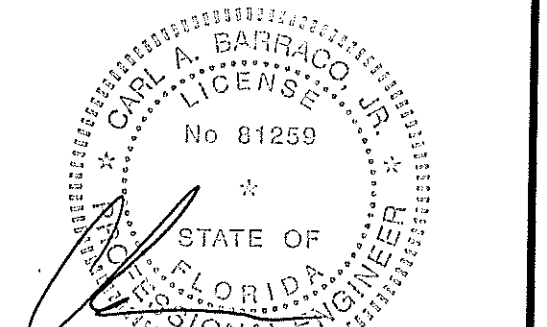
PROJECT DESCRIPTION

CRESCENT LAKES AT BABCOCK RANCH

CHARLOTTE COUNTY, FLORIDA

ENGINEER OF RECORD
CARL A. BARRACO, JR., P.E., FOR THE FIRM
FLORIDA P.E. NO. 81259 - CARLJB@BARRACO.NET

OCT 18 2024



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PLOT BY: PEYTON GAUSE

CROSS REFERENCED DRAWINGS

PLAN REVISIONS

PLAN STATUS

RECORD DRAWINGS

UTILITY DETAILS

PROJECT / FILE NO. SHEET NUMBER

24012 24.0

FIRE HYDRANTS SHALL NOT BE MORE THAN ONE FOOT OUTSIDE OF ROW LINE AND AT LEAST THREE FEET FROM CLOSEST ROAD IMPROVEMENT (PAVEMENT, GUTTER, CURB, ETC.) UNLESS OTHERWISE APPROVED BY THE ISO.

5' MIN

P.C.

E

Z

W

N

8' MIN

5' MIN

CLOSEST ROAD IMPROVEMENT

5' MIN

NOTES:

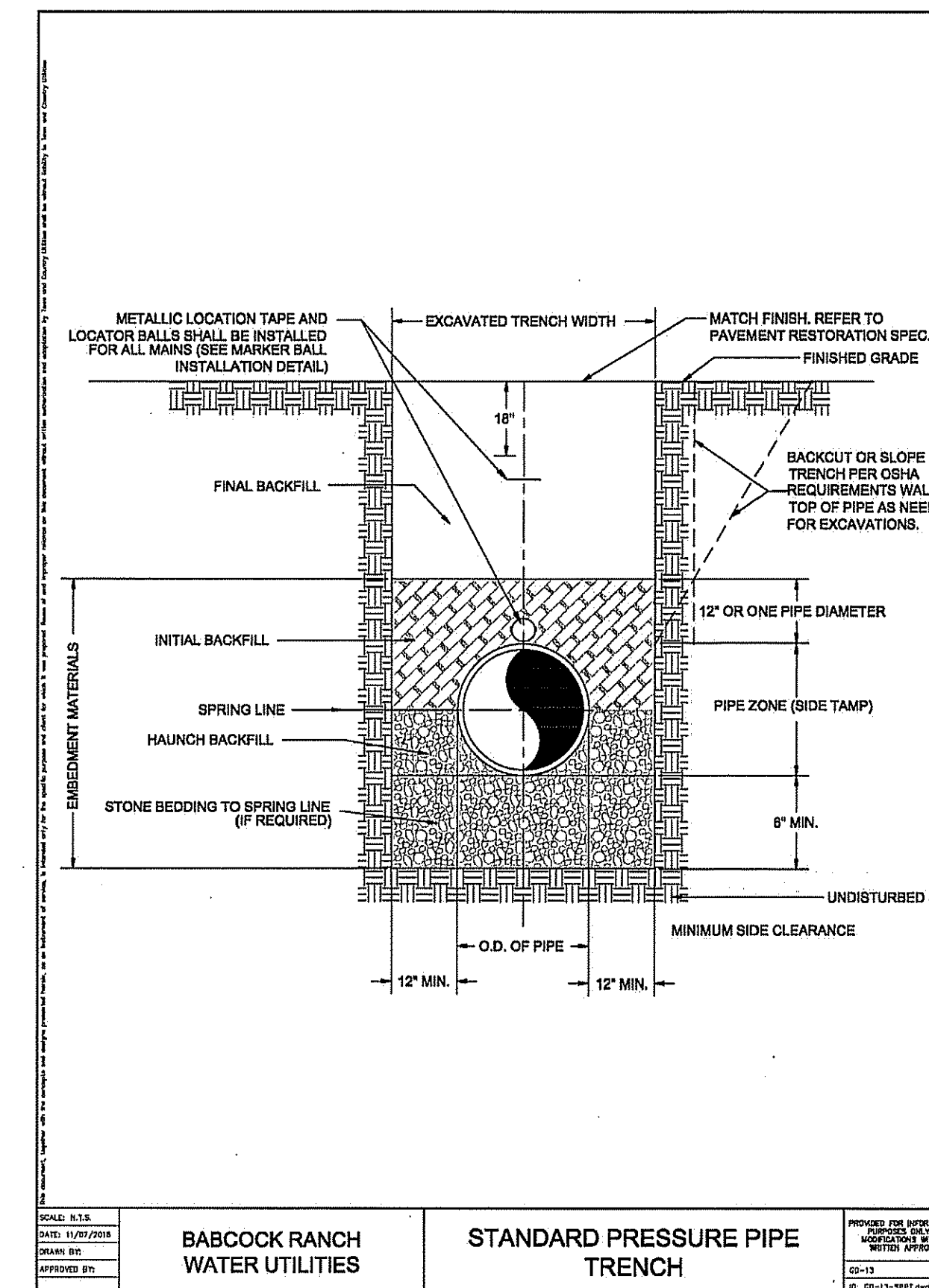
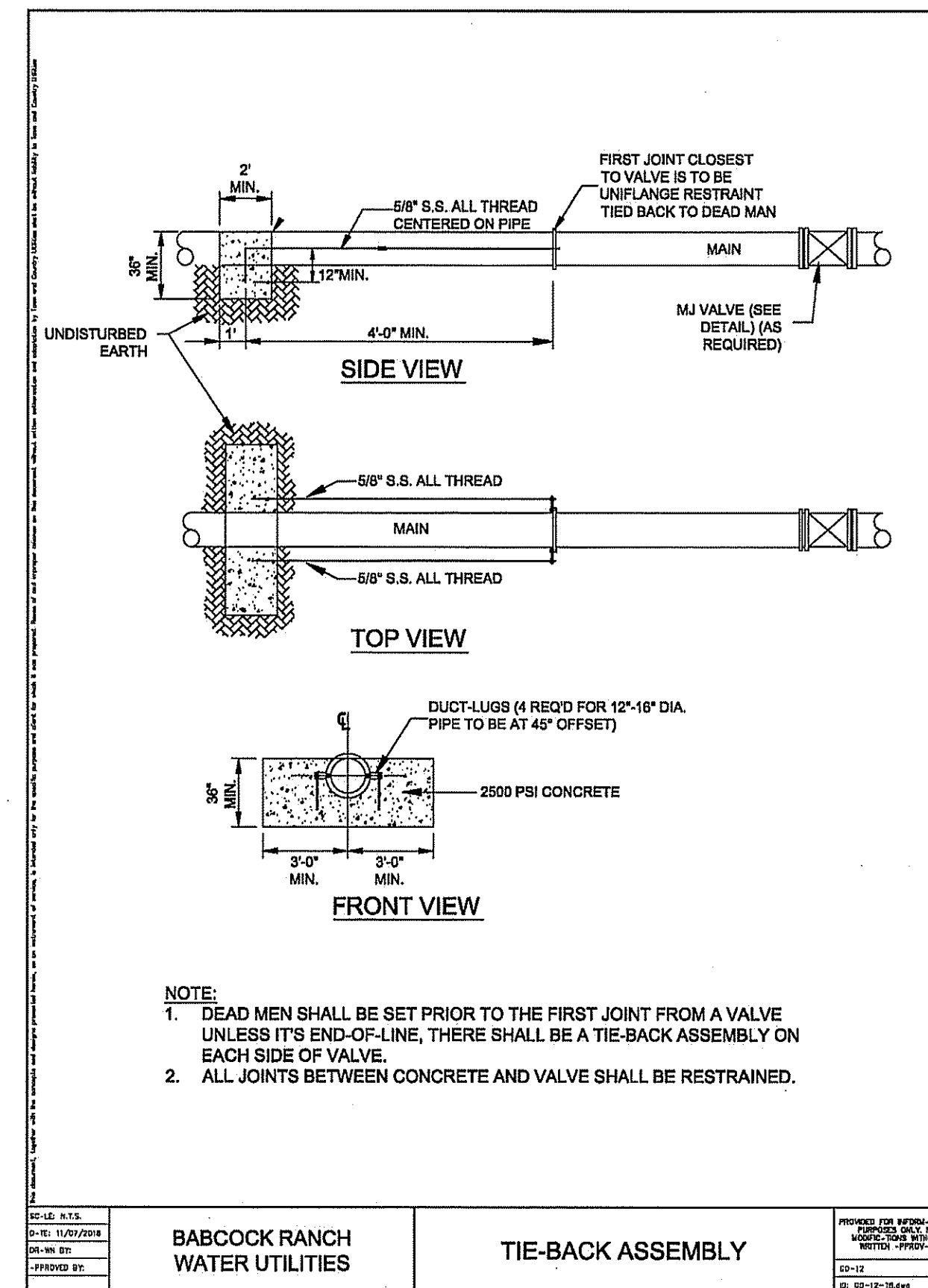
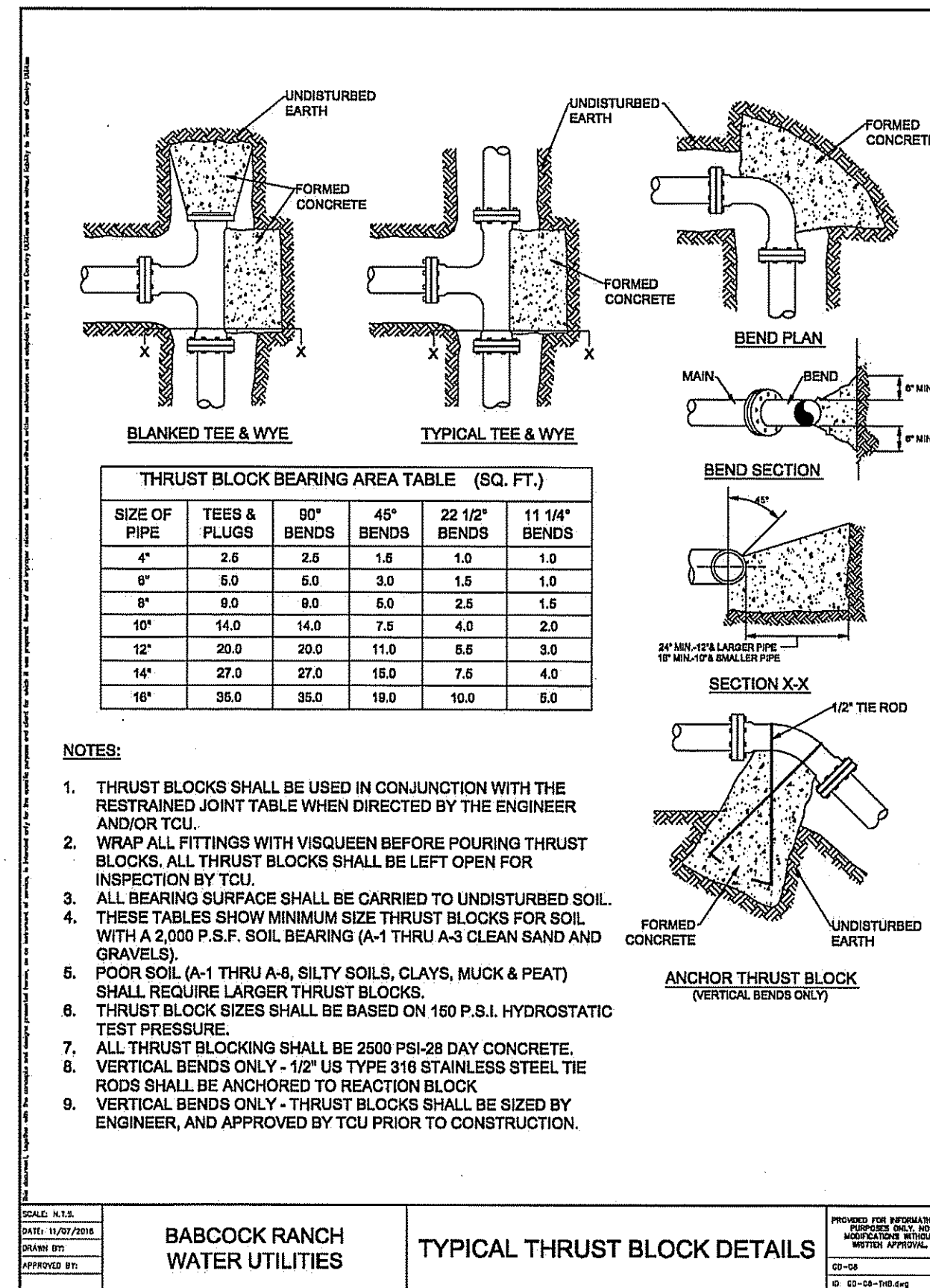
1. (P/L) = PROPERTY LINE, EASEMENT LINE OR RIGHT OF WAY LINE
2. ALL VALVES SHALL BE PLACED AT THE FITTING UNLESS APPROVED BY TCU.
3. ALL MAINS SHALL BE LOCATED A MINIMUM OF 5'-0" FROM EDGE OF ROADWAY IMPROVEMENTS (PAVEMENT, GUTTERS, CURBS, ETC.) UNLESS APPROVED BY ISO.
4. ALL WATER LINES SHALL BE LOCATED ON THE NORTH SIDE OF EAST-WEST STREETS AND ON THE WEST SIDE OF NORTH-SOUTH STREETS UNLESS APPROVED BY ISI.
5. ALL RECLAIMED WATER AND SEWER FORCE MAINS SHALL BE LOCATED ON THE SOUTH SIDE OF EAST-WEST STREETS AND ON THE EAST SIDE OF NORTH-SOUTH STREETS UNLESS APPROVED BY ISO.

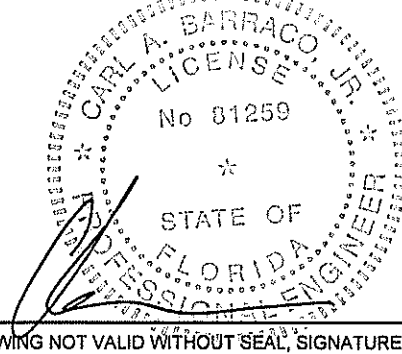
PROJECT NO.: 1709-0016-A
DATE: MAY 05
APPROVED BY:

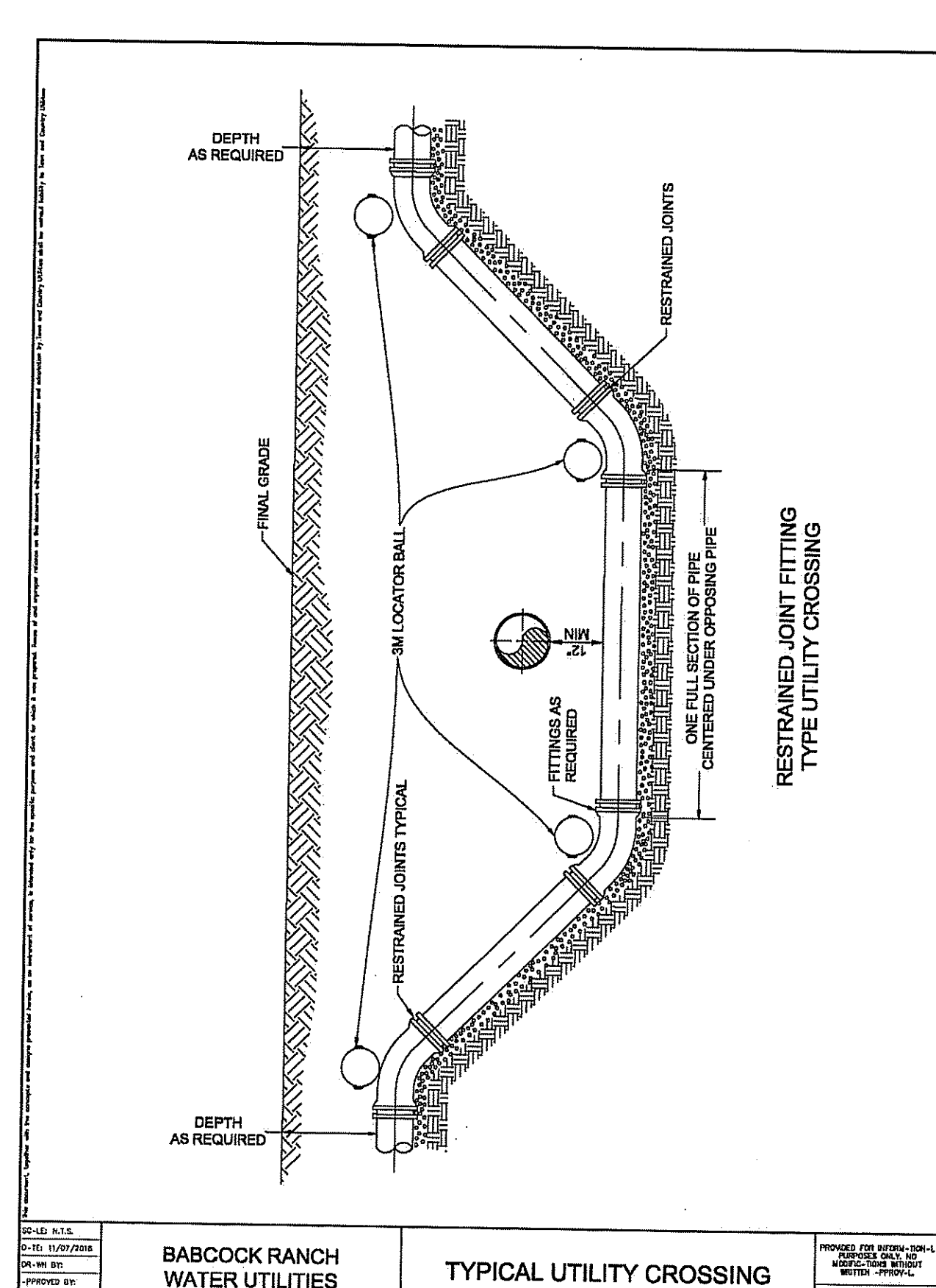
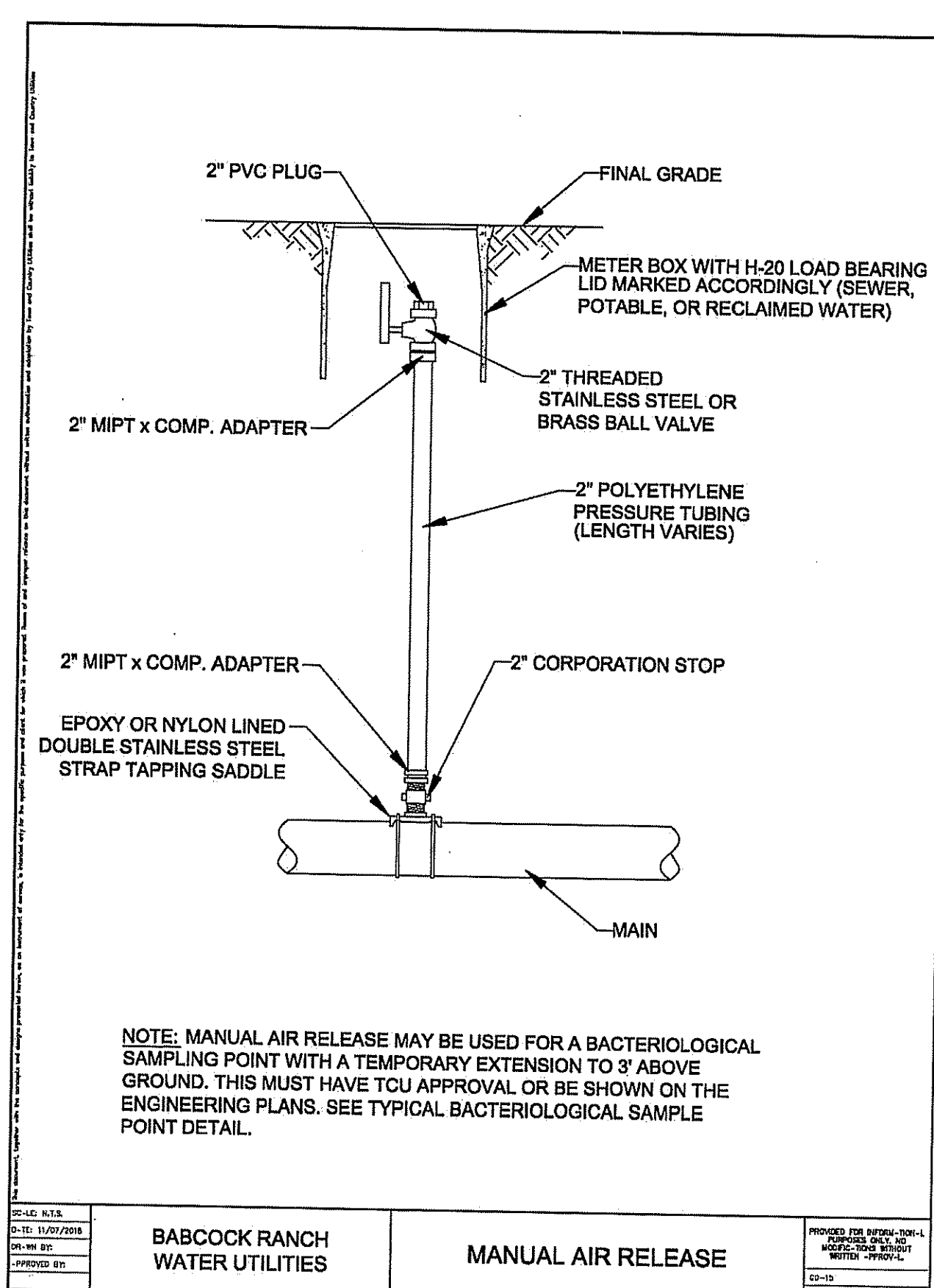
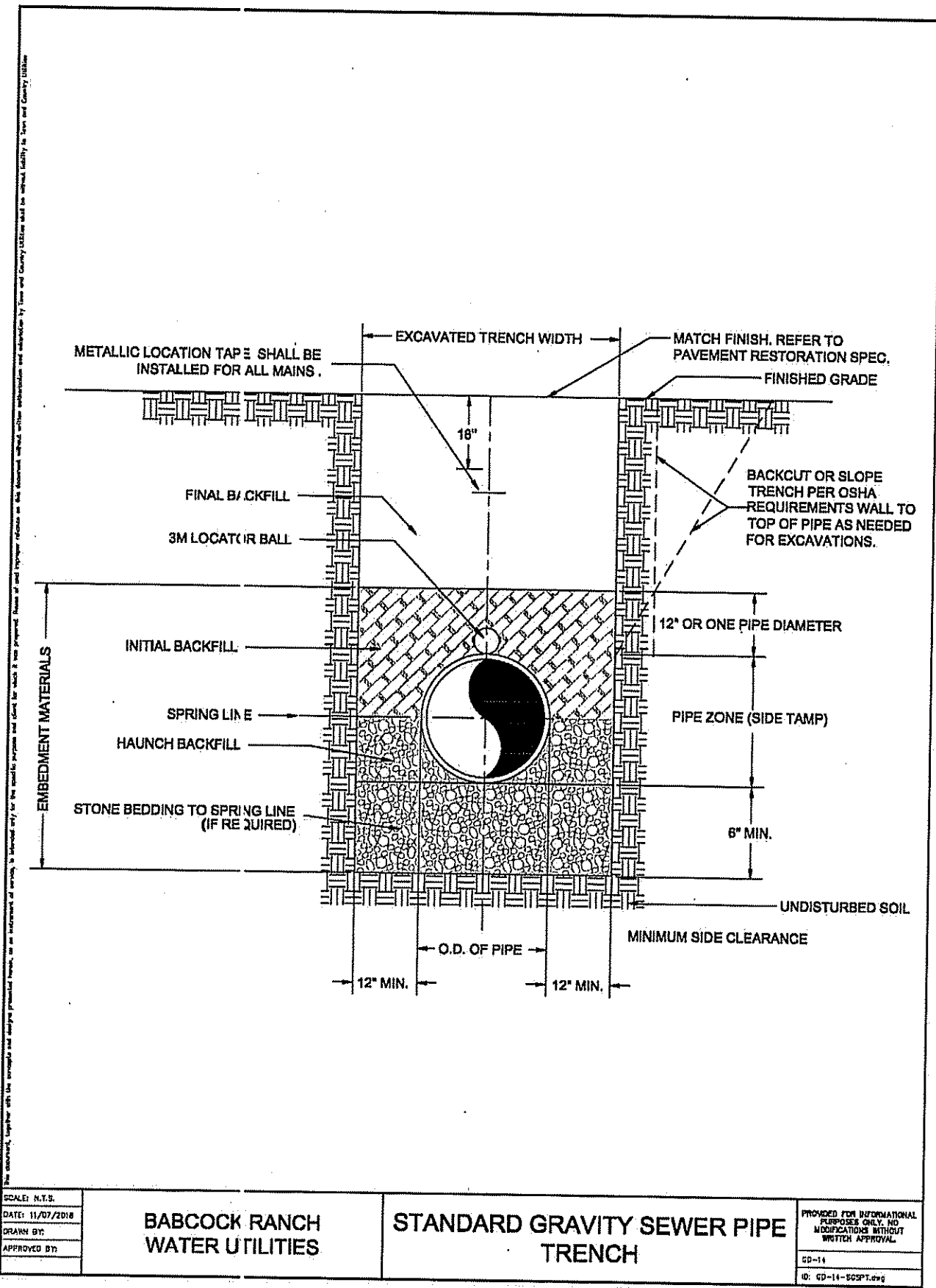
BABCOCK RANCH WATER UTILITIES

ALIGNMENT OF MAINS, VALVES, AND HYDRANTS

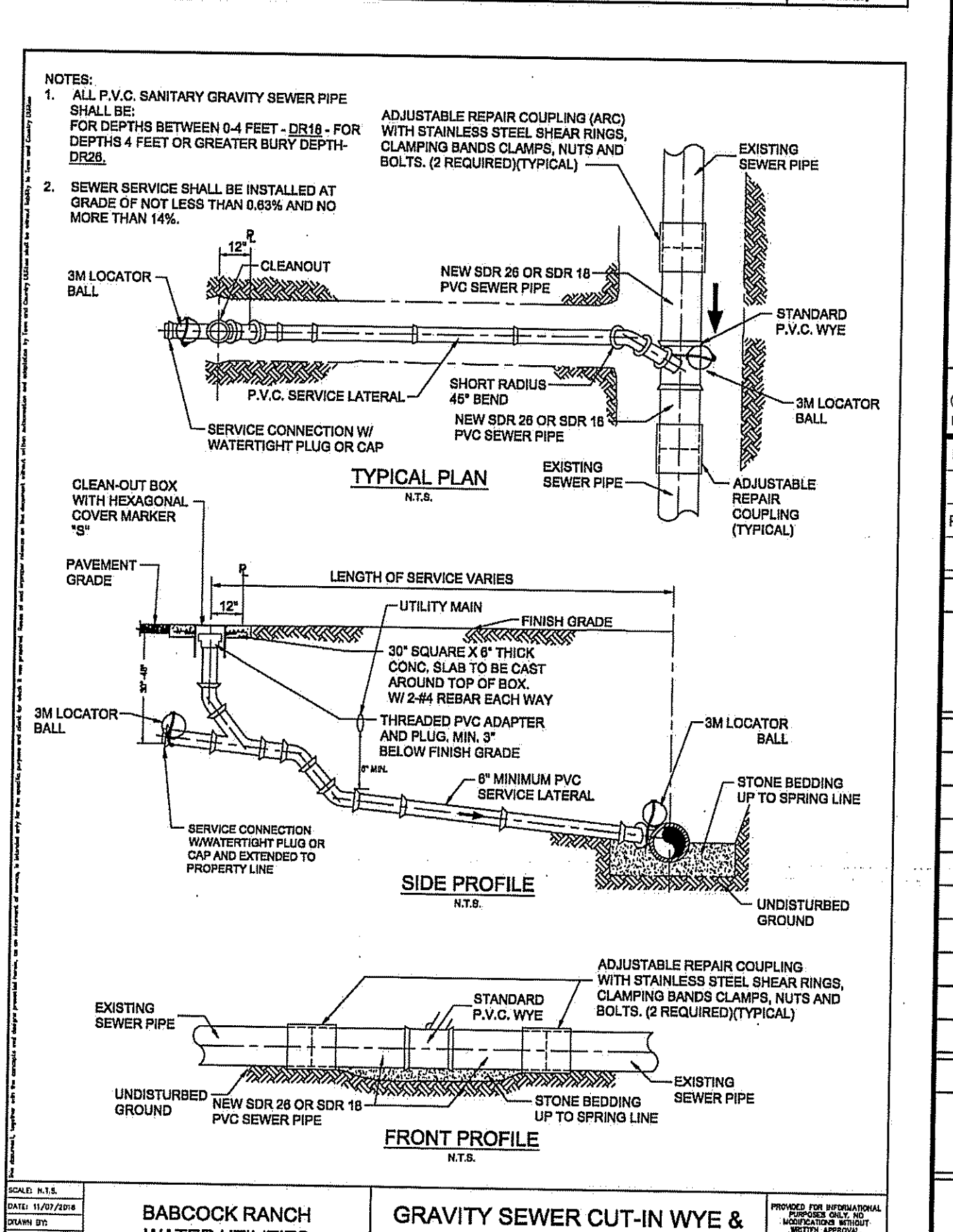
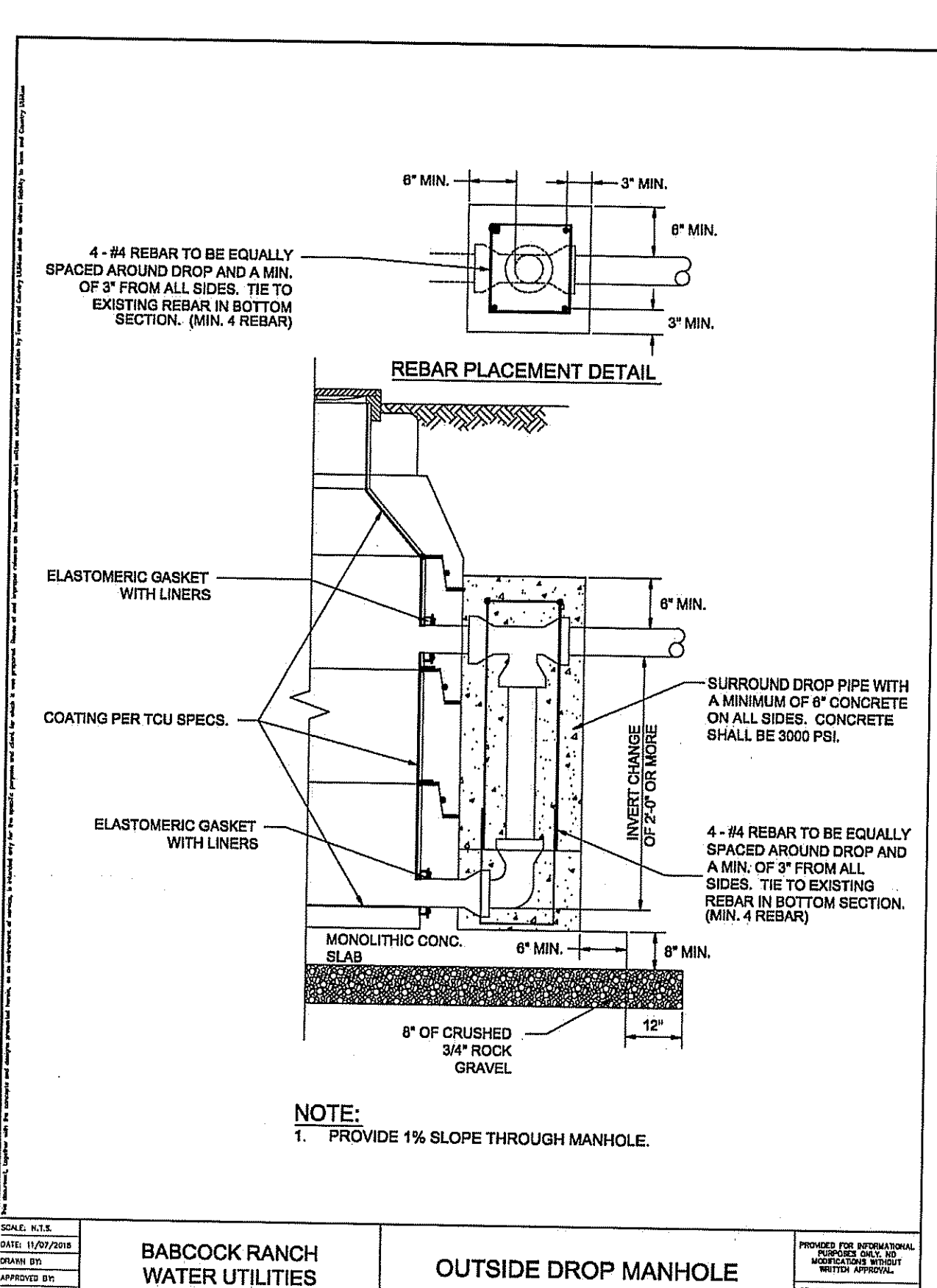
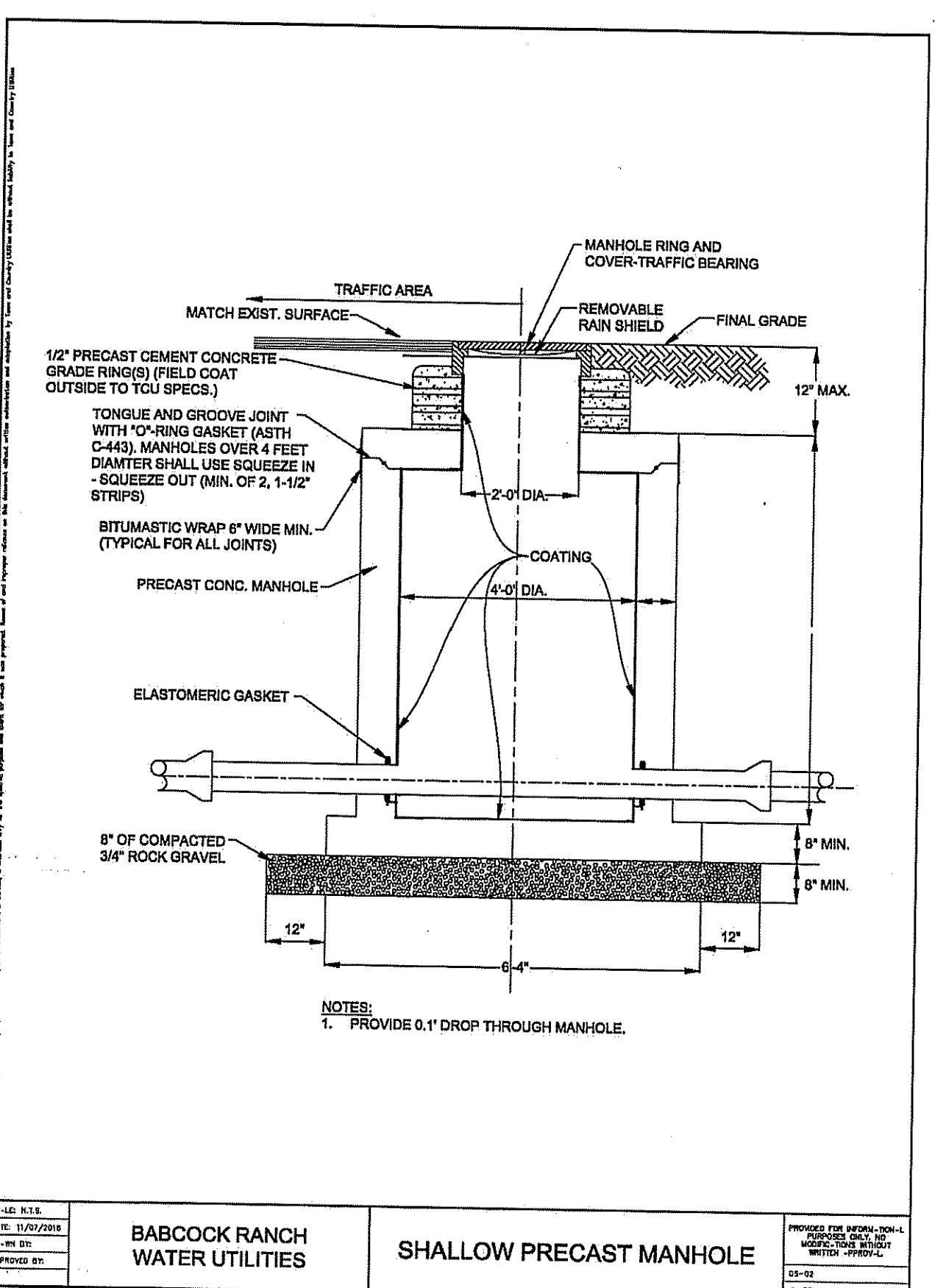
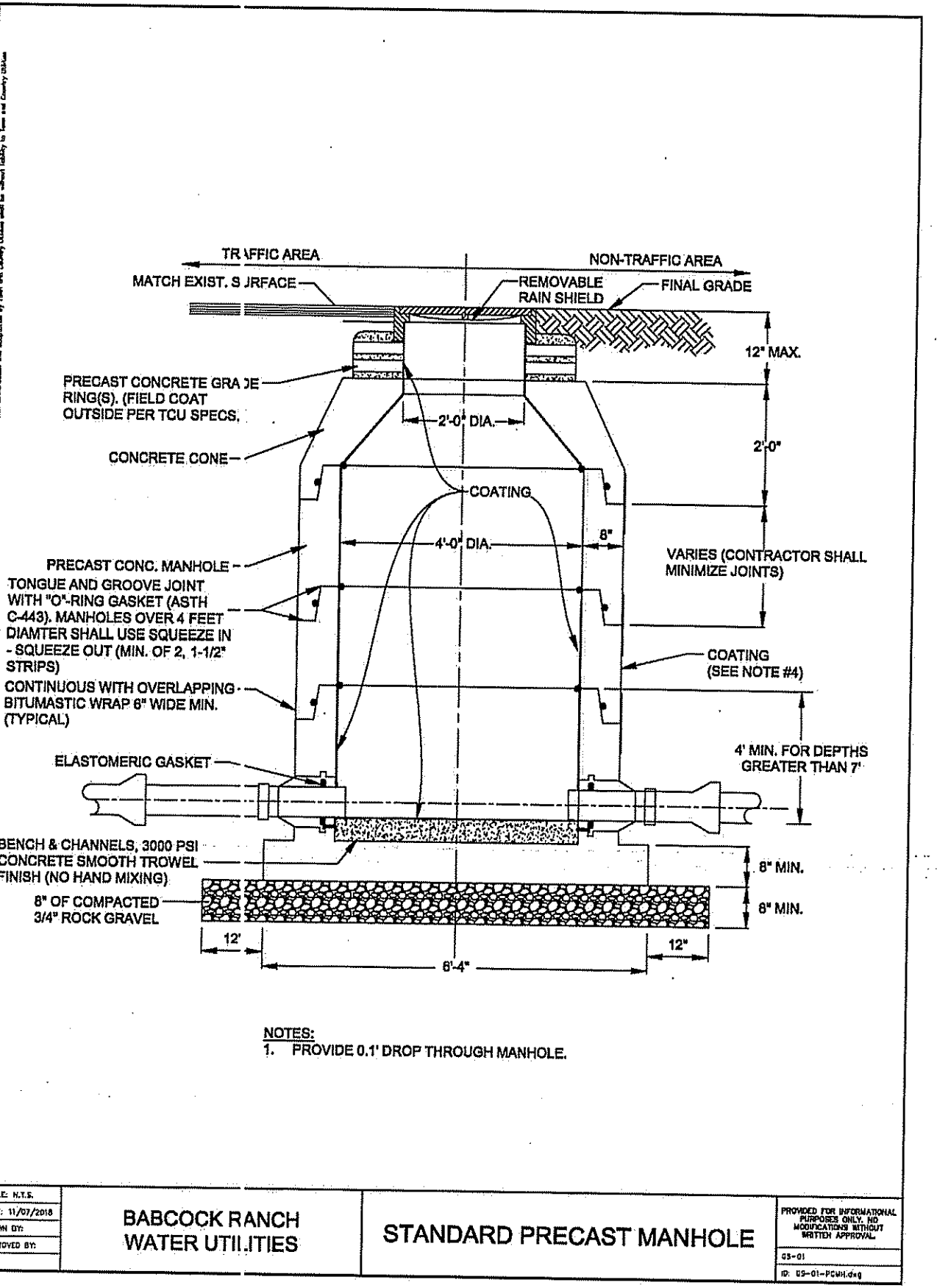
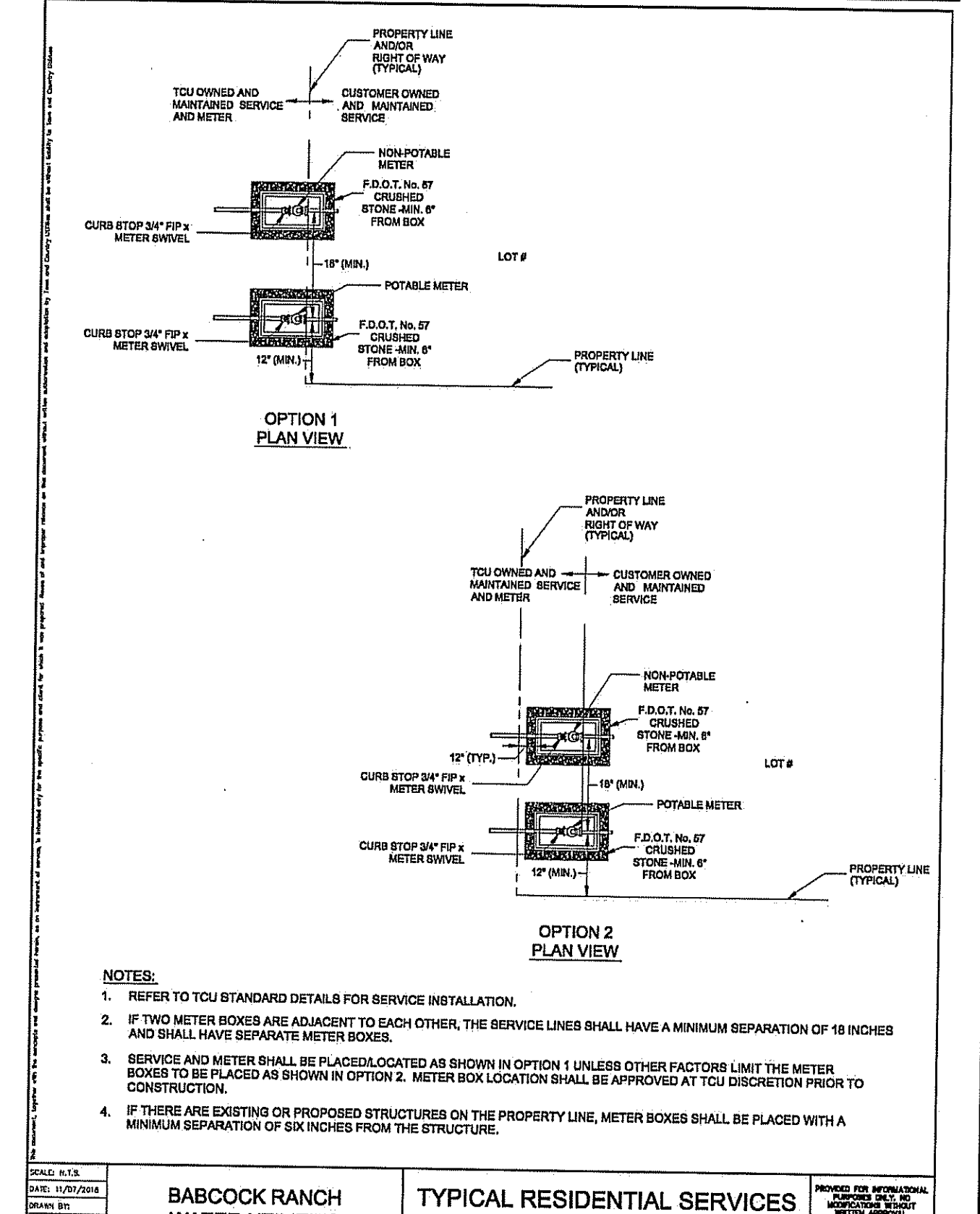
PROJECT FOR APPROVAL:
BABCOCK RANCH WATER
UTILITIES - PHASE 1A
DESIGNED BY: JMM
CHECKED BY: JMM
DATE: 05-05-05



Barraco and Associates, Inc. CIVIL ENGINEERING - LAND SURVEYING LAND PLANNING www.barraco.net 2271 MCGREGOR BLVD., SUITE 100 POST OFFICE DRAWER 2800 FORT MYERS, FLORIDA 33902-2800 PHONE (239) 461-5170 FAX (239) 461-3169 FLORIDA CERTIFICATES OF AUTHORIZATION ENGINEERING 7995 - SURVEYING LB-6940	
PREPARED FOR	
 Meritage Homes 12220 TOWNE LAKE DRIVE, SUITE 75 FORT MYERS, FLORIDA 33913 PHONE (239) 768-3826 https://www.meritagehomes.com/	
PROJECT DESCRIPTION	
CRESCENT LAKES AT BABCOCK RANCH	
CHARLOTTE COUNTY, FLORIDA	
ENGINEER OF RECORD	
CARL A. BARRACO, JR., P.E., FOR THE FIRM FLORIDA P.E. NO. 81259 - CARL.JR@BARRACO.NET	
OCT 18 2024	
	
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CROSS REFERENCED DRAWINGS	
PLAN REVISIONS	
PLAN STATUS	
RECORD DRAWINGS	
UTILITY DETAILS	
PROJECT / FILE NO.	SHEET NUMBER
24012	24.1



RECORD DRAWING



Barraco and Associates, Inc.
CIVIL ENGINEERING - LAND SURVEYING
LAND PLANNING

www.barraco.net
2271 Mcgregor Blvd., Suite 100
Fort Myers, Florida 33902-2800
Phone (239) 461-3170
Fax (239) 461-3169

FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

Meritage Homes
12220 Towne Lake Drive, Suite 75
Fort Myers, Florida 33913
Phone (239) 768-3826
<https://www.meritagehomes.com/>

PROJECT DESCRIPTION

CRESCENT LAKES AT BABCOCK RANCH

CHARLOTTE COUNTY, FLORIDA

ENGINEER OF RECORD
CARLA A. BARRACO, JR., P.E. FOR THE FIRM
FLORIDA P.E. NO. 81259 - CARLB@BARRACO.NET

OCT 18 2024

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PLOT BY: PEYTON GAUSE

CROSS REFERENCED DRAWINGS

PLAN REVISIONS

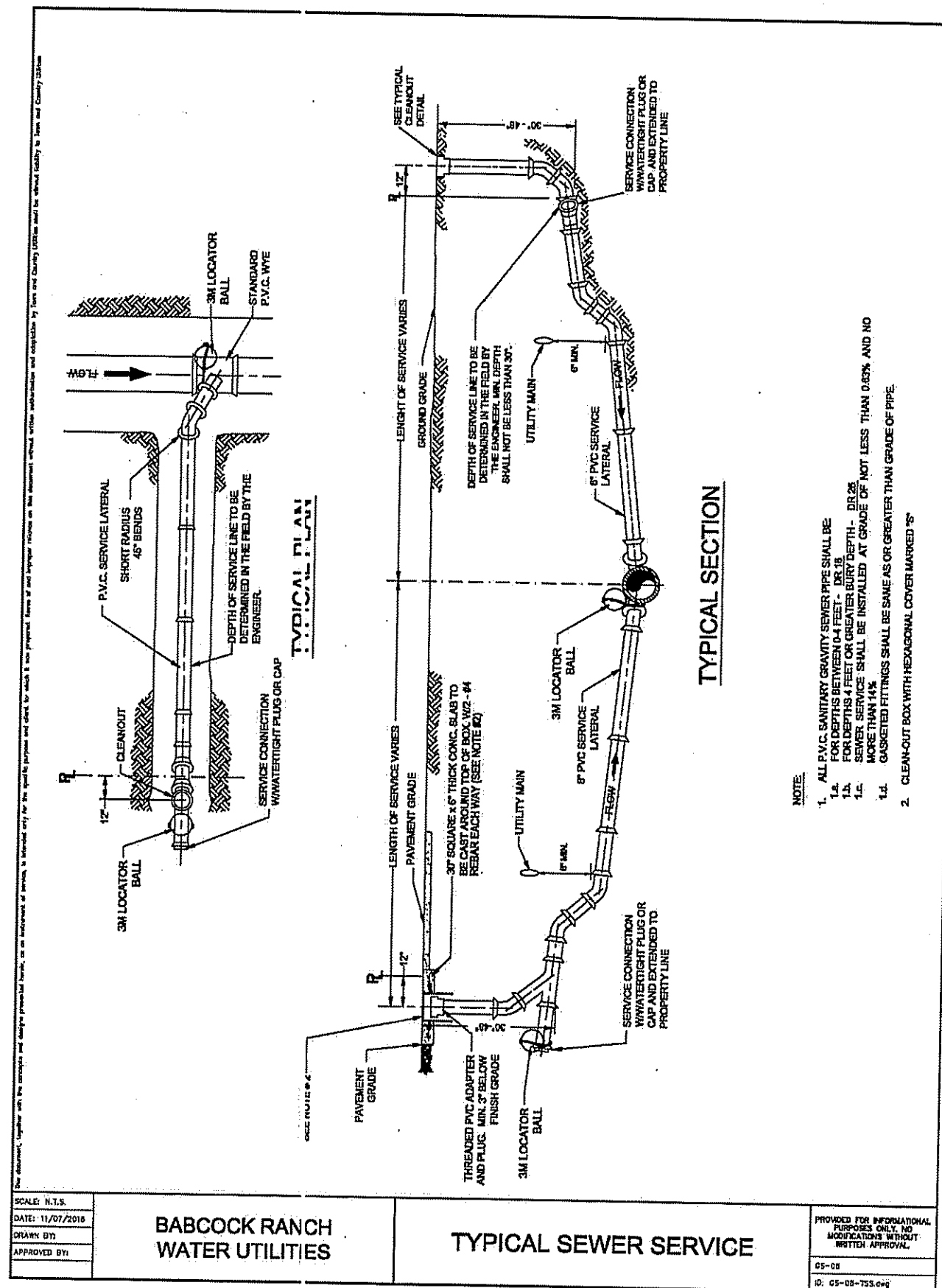
PLAN STATUS

RECORD DRAWINGS

UTILITY DETAILS

PROJECT / FILE NO. **24012** SHEET NUMBER **24.2**

RECORD DRAWING



Attachment 7
Public Works Department Approval



COMMENT MEMORANDUM

Date: November 15, 2024

To: Jenny Shao, Project Coordinator
Community Development/Zoning

From: Public Work- Engineering- Roy Benjamin

Subject: PFP-23-05-02 Babcock Ranch Community Crescent Lakes Phase 2 Bond Reduction

No comments or concerns. Recommend approval.

ENGINEER'S OPINION OF PROBABLE COST
for the construction of
CRESCENT LAKES AT BABCOCK RANCH PHASE 2
May 12, 2023
Revised September 16, 2024

APPROVED
By Roy Benjamin at 7:01 am, Nov 15, 2024

ITEM NO.	DESCRIPTION	ORIGINAL QUANTITY	CONSTRUCTED QUANTITY	REMAINING QUANTITY	UNIT	UNIT PRICE	ORIGINAL AMOUNT	CONSTRUCTED AMOUNT	REMAINING AMOUNT
I. EARTHWORK									
110-1	Clearing and Grubbing	45.63	45.63	0	AC	\$1,500.00	\$68,445.00	\$68,445.00	\$0.00
575-1	Seed & Mulch Disturbed Area (Lots Only)	134,258	134,258	0	SY	\$0.25	\$33,564.50	\$33,564.50	\$0.00
A.	Turbidity Barrier (Existing Lake Excavation)	770	770	0	LF	\$19.00	\$14,630.00	\$14,630.00	\$0.00
SUB-TOTAL							\$116,639.50	\$116,639.50	\$0.00
II. ROADWAY									
160-1	Type "B" Stabilization (6")	15,748	15,748	0	SY	\$2.75	\$43,307.00	\$43,307.00	\$0.00
200-1	Limerock Base w/Prime Coat (6")	13,373	13,373	0	SY	\$11.75	\$157,132.75	\$157,132.75	\$0.00
331-1	Asphalt Concrete Type S-III 3/4" (1 of 2 Lifts)	13,373	13,373	0	SY	\$6.10	\$81,575.30	\$81,575.30	\$0.00
331-2	Asphalt Concrete Type S-III 3/4" (2 of 2 Lifts)	13,373	0	21,187	SY	\$6.50	\$86,924.50	\$0.00	\$86,924.50
520-1	Valley Gutter (2' Wide)	10,744	0	13,974	LF	\$11.50	\$123,556.00	\$0.00	\$123,556.00
522-1	ADA Detectable Warning	11	0	224	EA	\$575.00	\$6,325.00	\$0.00	\$6,325.00
522-2	4" Concrete Sidewalk (Common Area Only)	610	0	853	SY	\$45.00	\$27,450.00	\$0.00	\$27,450.00
575-1	Sodding (Roadway, Berms and Lakes)	23,476	23,476	583	SY	\$2.50	\$58,690.00	\$58,690.00	\$0.00
SUB-TOTAL:							\$584,960.55	\$340,705.05	\$244,255.50
III. DRAINAGE									
425-1	Valley Gutter Inlet	18	18	0	EA	\$4,450.00	\$80,100.00	\$80,100.00	\$0.00
425-2	Type "C" Inlet	1	1	0	EA	\$4,725.00	\$4,725.00	\$4,725.00	\$0.00
430-1	18" RCP Storm Sewer	233	233	0	LF	\$54.00	\$12,582.00	\$12,582.00	\$0.00
430-2	24" RCP Storm Sewer	948	948	0	LF	\$70.00	\$66,360.00	\$66,360.00	\$0.00
430-3	30" RCP Storm Sewer	3	3	0	LF	\$96.00	\$288.00	\$288.00	\$0.00
430-4	36" RCP Storm Sewer	756	756	0	LF	\$122.00	\$92,232.00	\$92,232.00	\$0.00

ITEM NO.	DESCRIPTION	ORIGINAL QUANTITY	CONSTRUCTED QUANTITY	REMAINING QUANTITY	UNIT	UNIT PRICE	ORIGINAL AMOUNT	CONSTRUCTED AMOUNT	REMAINING AMOUNT
430-5	42" RCP Storm Sewer	412	412	0	LF	\$182.00	\$74,984.00	\$74,984.00	\$0.00
440-1	8" ADS Pipe	862	862	0	LF	\$20.00	\$17,240.00	\$17,240.00	\$0.00
440-2	12" ADS Pipe	986	986	0	LF	\$28.00	\$27,608.00	\$27,608.00	\$0.00
440-3	18" ADS Pipe	468	468	0	LF	\$35.00	\$16,380.00	\$16,380.00	\$0.00
440-4	ADS Rear Yard Inlets	23	23	0	EA	\$1,300.00	\$29,900.00	\$29,900.00	\$0.00
440-5	12" ADS FES	1	1	0	EA	\$1,500.00	\$1,500.00	\$1,500.00	\$0.00
440-6	18" ADS FES	1	1	0	EA	\$1,500.00	\$1,500.00	\$1,500.00	\$0.00
SUB-TOTAL:							\$425,399.00	\$425,399.00	\$0.00
IV. WATERLINE AND ACCESSORIES									
A.	6" DR 14 Watermain	100	100	0	LF	\$48.00	\$4,800.00	\$4,800.00	\$0.00
B.	6" DR 18 Watermain	227	227	0	LF	\$40.00	\$9,080.00	\$9,080.00	\$0.00
C.	8" DR 14 Watermain	145	145	0	LF	\$55.00	\$7,975.00	\$7,975.00	\$0.00
D.	8" DR 18 Watermain	4,482	4,482	0	LF	\$48.00	\$215,136.00	\$215,136.00	\$0.00
E.	8" Gate Valve	15	15	0	EA	\$2,100.00	\$31,500.00	\$31,500.00	\$0.00
F.	Fire Hydrant Assembly	12	12	0	EA	\$6,300.00	\$75,600.00	\$75,600.00	\$0.00
G.	Single Water Service	38	38	0	EA	\$770.00	\$29,260.00	\$29,260.00	\$0.00
H.	Double Water Service	59	59	0	EA	\$1,200.00	\$70,800.00	\$70,800.00	\$0.00
SUB-TOTAL:							\$444,151.00	\$444,151.00	\$0.00
V. SEWER SYSTEM									
A.	4' Sanitary Manhole	20	20	0	EA	\$9,400.00	\$188,000.00	\$188,000.00	\$0.00
B.	6" Single Sewer Service	21	21	0	EA	\$1,300.00	\$27,300.00	\$27,300.00	\$0.00
C.	6" Double Sewer Service	68	68	0	EA	\$1,400.00	\$95,200.00	\$95,200.00	\$0.00
SUB-TOTAL:							\$310,500.00	\$310,500.00	\$0.00
VI. IRRIGATION/REUSE MAIN									
A.	6" DR-18 Irrigation Main	5,412	5,412	0	LF	\$40.00	\$216,480.00	\$216,480.00	\$0.00
B.	6" Gate Valve	15	15	0	EA	\$1,900.00	\$28,500.00	\$28,500.00	\$0.00
C.	Air Release Valve	5	5	0	EA	\$5,100.00	\$25,500.00	\$25,500.00	\$0.00

ITEM NO.	DESCRIPTION	ORIGINAL QUANTITY	CONSTRUCTED QUANTITY	REMAINING QUANTITY	UNIT	UNIT PRICE	ORIGINAL AMOUNT	CONSTRUCTED AMOUNT	REMAINING AMOUNT
D.	Single Irrigation Service	39	39	0	EA	\$1,400.00	\$54,600.00	\$54,600.00	\$0.00
E.	Double Irrigation Service	59	59	0	EA	\$2,000.00	\$118,000.00	\$118,000.00	\$0.00
SUB-TOTAL:							\$443,080.00	\$443,080.00	\$0.00
TOTAL:							\$2,324,730.05	\$2,080,474.55	\$244,255.50
10% BOND AMOUNT:							\$232,473.01	\$208,047.46	\$24,425.55
BOND TOTAL:							\$2,557,203.06	\$2,288,522.01	\$268,681.05

Estimated Date of Completion: 4/26
Barraco and Associates, Inc.
2271 McGregor Boulevard
P.O. Drawer 2800
Fort Myers, FL. 33902-2800
Certificate of Authorization No. 7995

APPROVED
By Roy Benjamin at 7:02 am, Nov 15, 2024

This item has been digitally signed and sealed by Carl A. Barraco, Jr. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and signature must be verified on any electronic copies.

Carl A. Barraco, Jr., P.E.
Florida P.E. No. 81259
For the Firm