



DATE: May 17, 2025

TO: Honorable Board of County Commissioners

FROM: Maryann Franks, Zoning Supervisor
Professional Qualifications as provided in Exhibit 1.

RE: **DRC-24-209- Final Detail Site Plan, Willow Phase 2**

Requested Action(s):

RESPEC Company, LLC is requesting a PD Final Site Plan approval for Willow Phase 2. This project consists of 281 residential single-family units and associated infrastructure. This project site is 77.96± acres and is located at 11257 Cloverly Lane (412335325378), Punta Gorda, FL.

Analysis:

This project site is 77.96± acres and is located at 11257 Cloverly Lane (412335325378), Punta Gorda, FL. The site is designated as Low Density Residential in the 2030 Future Land Use Map and is currently zoned Planned Development (PD). The proposed Final Detail Site consists of 281 residential single-family units and associated infrastructure and is consistent with the County's Comprehensive Plan and existing PD conditions.

This Final Detail Site Plan complies with all conditions, as well as being in compliance with the approved concept plan. The site plans are attached as Exhibit 2.

The Final Detail Site Plan has been approved through the Site Plan Review process, this proposal will not create any concurrency issues (Exhibit 4, Approval Letter).

Based upon the analysis and conclusions set forth herein, in staff's professional opinion, the application (Final Detail Site Plan, DRC-24-209) is generally consistent with Charlotte County's comprehensive plan, Charlotte County's Code of Laws and Ordinances and other applicable guidelines

COMMUNITY DEVELOPMENT DEPARTMENT

18400 Murdock Circle
Port Charlotte, FL 33948
Phone: 941.764.4909 | Fax: 941.764-4180



Qualifications of Maryann Franks

Qualifications of Maryann Franks

Position: Zoning Supervisor

Years with Charlotte County: 25

Position Summary & Experience: I have worked as a Zoning Tech I, Zoning Tech II, Permitting, Licensing & Zoning Supervisor, Zoning Coordinator and Zoning Supervisor for Charlotte County Community Development, Zoning Department for 25 years. My duties include reviewing and making recommendations of compliance with Charlotte County zoning regulations on preliminary and final detail site plans to the Board of County Commissioners. I also coordinate and compile the recommendations and conditions of the reviewing departments and agencies into the final recommendation to the Board of County Commissioners. My duties include supervising the Environmental Specialist, the Zoning Technicians, zoning reviews, host and attend meetings and providing customer service. I assist the Zoning Official and the Planners when needed.

Exhibit 1

GENERAL DEVELOPMENT NOTES:

- ALL CONTRACTORS AND SUB-CONTRACTORS SHALL MAINTAIN THEIR WORK AND THE SITE RELATIVE TO THEIR WORK IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REQUIREMENTS OF THE PROJECT N.P.D.E.S. PERMIT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DEWATER IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITTING REQUIREMENTS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CHARLOTTE COUNTY LDC.
- THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR ANY CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING CONSTRUCTION.
- THE LOCATION OF EXISTING UTILITIES, SIDEWALKS, PAVEMENT,

- VEGETATION AND MISCELLANEOUS IMPROVEMENTS ARE APPROXIMATE. THE EXACT FIELD LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION.
- THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 IS THE BENCHMARK DATUM FOR THIS PROJECT.
- ANY PUBLIC LAND CORNER WITHIN LIMITS OF CONSTRUCTION IS TO BE PROTECTED. ANY LAND CORNER MONUMENT IN DANGER OF BEING DESTROYED MUST BE PROPERLY REFERENCED BY THE CONTRACTOR.
- EXISTING IMPROVEMENTS SHALL BE RESTORED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO COMMENCING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.

- CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
- UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF ALL TRENCHES TO AVOID DISTURBANCES OF NATURAL VEGETATION. SPOIL FROM TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE OWNER. CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY TREES AND/OR SHRUBS WITHOUT PRIOR APPROVAL OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.

- THE APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT AUTHORIZE CONSTRUCTION OF REQUIRED IMPROVEMENTS THAT ARE INCONSISTENT WITH EASEMENT OF RECORD.
- ALL PROHIBITED EXOTIC VEGETATION SHALL BE REMOVED FROM THE SITE AND MAINTAINED FREE OF EXOTICS IN PERPETUITY.
- SIDEWALKS SHOWN ALONG INDIVIDUAL LOTS FOR HOME SITES SHALL BE CONSTRUCTED DURING CONSTRUCTION OF THE HOMES ON EACH LOT.

SIGNING AND MARKING NOTES:

- ALL SIGNING SHALL BE IN ACCORDANCE WITH THE F.D.O.T. STANDARD PLANS FOR ROAD CONSTRUCTION, LATEST EDITION, THE F.D.O.T. DESIGN MANUAL, LATEST EDITION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND PUBLISHED STANDARDS, LATEST EDITION.
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE F.D.O.T. STANDARD PLANS FOR ROAD CONSTRUCTION, LATEST EDITION, THE F.D.O.T. DESIGN MANUAL, LATEST EDITION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND PUBLISHED STANDARDS, LATEST EDITION.
- ALL STOP SIGN LOCATIONS SHALL INCLUDE A 24" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

PROPOSED UNIT COUNT

281 SINGLE FAMILY DETACHED LOTS

DENSITY: 3.6 D.U. / AC.

NOTE:
1,689 RESIDENTIAL DWELLING UNITS ALLOWED PER PD-22-000092, 354 DWELLING UNITS CONSTRUCTED WITH PHASE 1 (DRC-21-00189).



RESPEC

RESPEC
1412 Jackson Street, Suite #1
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(239) 418-0691
Florida Registry License No. 33253

ENGINEER OF RECORD:
ANDREW D. FITZGERALD
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 56776
THIS SEAL IS TO BE PLACED ON THE PLANS AND COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS SIGNED AND SEALED BY ANDREW D. FITZGERALD ON THE DATE INDICATED BELOW.
THE SIGNATURE MUST BE VERIFIED ON ANY NOVEMBER 6, 2024

AREA RESERVED FOR AGENCY USE

WILLOW - PHASE 2

CCU#24-1007

OWNER / DEVELOPER:
LENNAR
10481 SIX MILE CYPRESS PARWAY
FORT MYERS, FL 33966
(239) 238-1177

PLAN REVISIONS	
#	DATE

MASTER SITE PLAN

Project Manager: ADF
Drawn By: CAS
Project Number: W0079.24039
County, State: CHARLOTTE COUNTY, FL

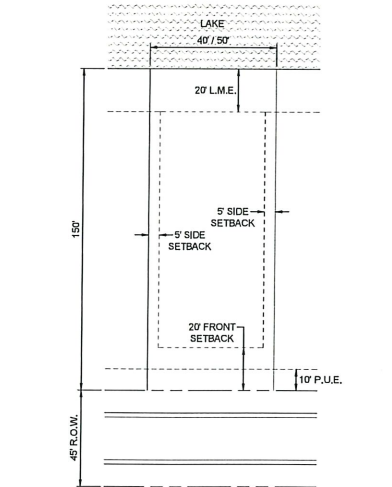
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Sheet Number: 3

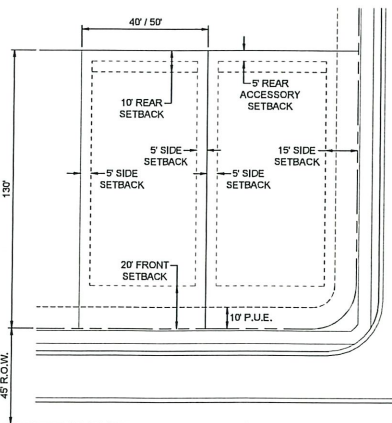
DEVELOPMENT STANDARDS
PER ORDINANCE NO. 2022-059

CATEGORY	SINGLE FAMILY DETACHED REQUIRED
REQUIRED PARKING	2 / UNIT
MIN. LOT SIZE (SF)	4,000
MAX. % OF LOT COVERAGE BY BUILDING (%)	85
MIN. LOT WIDTH (FT)	35
MIN. FRONT SETBACK (FT)	20 ⁽¹⁾
MIN. SIDE SETBACK - INTERIOR (FT)	5
MIN. SIDE SETBACK ABUTTING A ROAD (FT)	15
MIN. REAR SETBACK (FT)	10 ⁽²⁾
MIN. REAR SETBACK ABUTTING A ROAD (FT)	15
MIN. REAR SETBACK ABUTTING WATER (FT)	15
MAX. BUILDING HEIGHT (FT)	38
SETBACK FOR ACCESSORY STRUCTURE - REAR (FT) ⁽³⁾	5
SETBACK FOR ACCESSORY STRUCTURE - SIDE (FT) ⁽³⁾	5
SETBACK FOR ACCESSORY STRUCTURE ABUTTING A ROAD (FT) ⁽³⁾	15
SETBACK FOR ACCESSORY STRUCTURE ABUTTING WATER (FT) ⁽³⁾	15

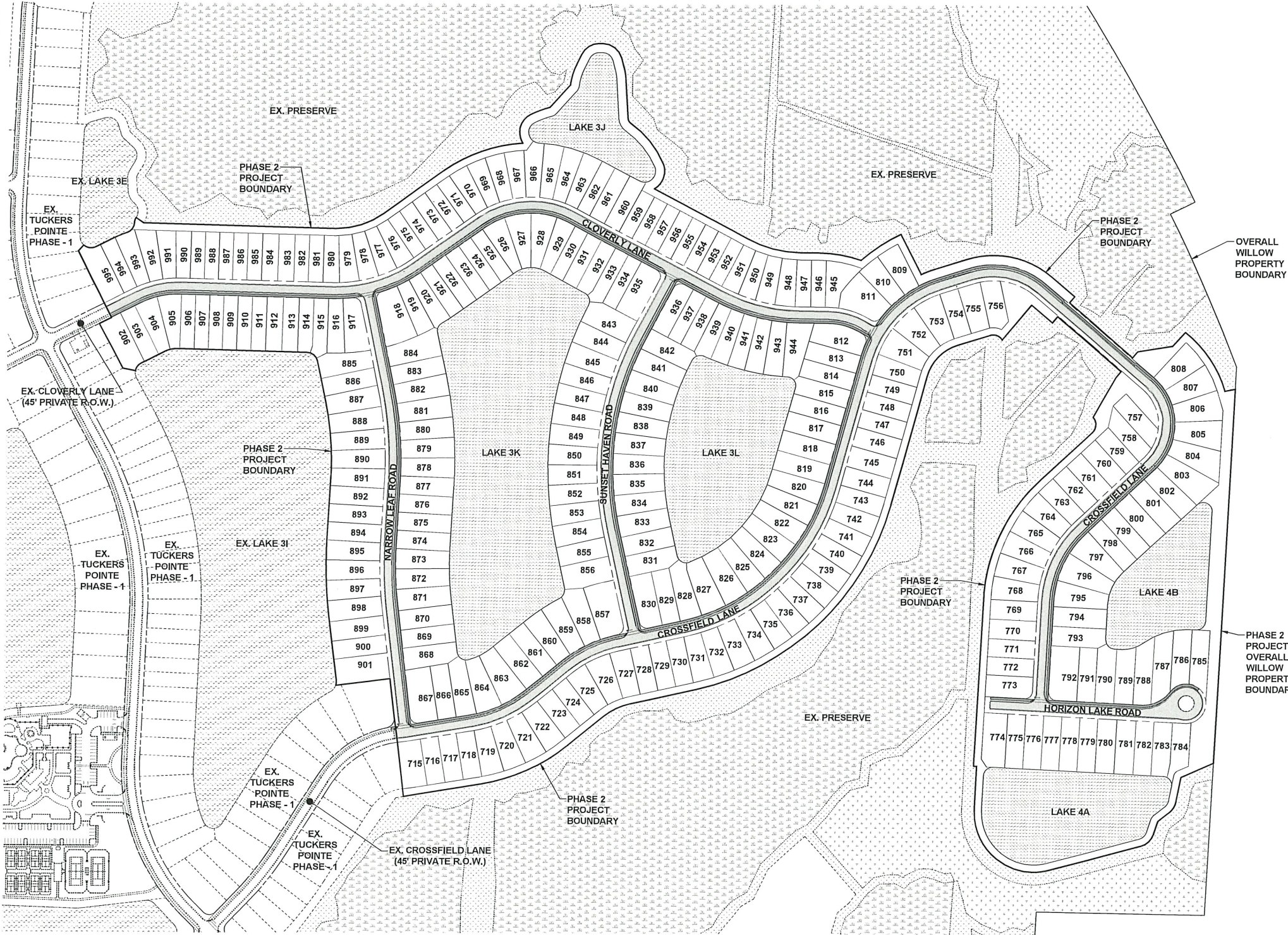
- TWO NEIGHBORHOODS 5' TO OPEN AIR PORCH, 15' TO LIVING AREA, 22' TO GARAGE.
- TWO NEIGHBORHOODS 15' TO LIVING AREA, 22' TO GARAGE.
- ACCESSORY STRUCTURES INCLUDE SCREEN ENCLOSURES AND POOL DECKS.



TYPICAL LOT LAYOUT ABUTTING LAKE



TYPICAL LOT LAYOUT



OVERALL
WILLOW
PROPERTY
BOUNDARY

PHASE 2
PROJECT /
OVERALL
WILLOW
PROPERTY
BOUNDARY

1. THE LENGTH OF ALL STORM DRAIN PIPES SHOWN ARE APPROXIMATE AND ARE MEASURED FROM THE INSIDE FACE OF STRUCTURE TO THE INSIDE FACE OF THE NEXT STRUCTURE.
2. EXISTING OFF-SITE DRAINAGE PATTERNS SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.
3. THE LOCATION OF THE DRAINAGE STRUCTURES SHOWN ON THE PLANS MAY BE FIELD ADJUSTED TO PRESERVE ANY EXISTING VEGETATION, AS APPROVED BY THE ENGINEER.
4. THE CONTRACTOR SHALL ADJUST ALL PROPOSED ELEVATIONS TO MEET THE EXISTING GRASSES AS NEEDED.
5. ALL STORM DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP), UNLESS OTHERWISE NOTED.
6. STRUCTURAL DESIGN AND REINFORCING FOR DRAINAGE STRUCTURES SHALL CONFORM TO FOOT DESIGN STANDARDS.
7. ALL DRAINAGE STRUCTURES CONCRETE SHALL HAVE COMPRESSION STRENGTH OF 3,000 PSI @ 28 DAYS.
8. PROPOSED GRASSES IN OPEN SPACE AREAS ARE TOP OF SOO.
9. THE SUBJECT PARCEL IS CURRENTLY LOCATED IN FLOOD ZONE 'D', SHOWING NO BASE FLOOD ELEVATION PER INSURANCE RATE MAP 12015C0430G, DECEMBER 15, 2022. A CLOMR WAS MOST RECENTLY COMPLETE WITH FEMA, UNDER CASE NUMBER 23-84-0453R, TO DETERMINE BASE FLOOD ELEVATIONS FOR THE SUBJECT PARCEL, WHICH COINCIDES WITH THE UNFLOODED AREA WITH THE EXCEPTION OF LAKES AND WETLANDS TO ZONE 'X'.
10. THERE ARE NO KNOWN PANTS TO SURFACE GROUND WATER RESULTING FROM THE PROJECT.
11. THERE ARE NO KNOWN PANTS TO WETLANDS RESULTING FROM THIS PROJECT.
12. CEMENT STABILIZED SAND, 57 STONE OR SIMILAR BEDDING REQUIRED FOR ALL STORM DRAIN INLET STRUCTURES AND JUNCTION BOXES.
13. ALL ELEVATIONS PROVIDED ARE BASED IN NAVD DATUM.
14. HOPE PIPE JOINTS SHALL BE WRAPPED IN MIRAFI FABRIC UPON INSTALLATION.
15. OPERATION AND OWNERSHIP OF THE SURFACE WATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION.
16. HOPE UNDER PAVEMENT SHALL BE HIP WATER SUMP DUAL WALL PIPE.








	BASIN 3	BASIN 4
PARAMETER	ELEVATION	ELEVATION
MINIMUM PERIMETER BERM ELEVATION (FT-NAVD)	24.30	24.30
MINIMUM PAVEMENT ELEVATION (FT-NAVD)	24.20	24.20
MINIMUM FINISHED FLOOR ELEVATION (FT-NAVD)	26.00	26.00
CONTROL ELEVATION (FT-NAVD)	22.00	22.00

PARAMETER	BASIN 3	BASIN 4
	ELEVATION	ELEVATION
CRITICAL STORM ELEVATION (FT-NAVD)	24.82	23.35
MINIMUM BERM ELEVATION (FT-NAVD)	25.40	24.10

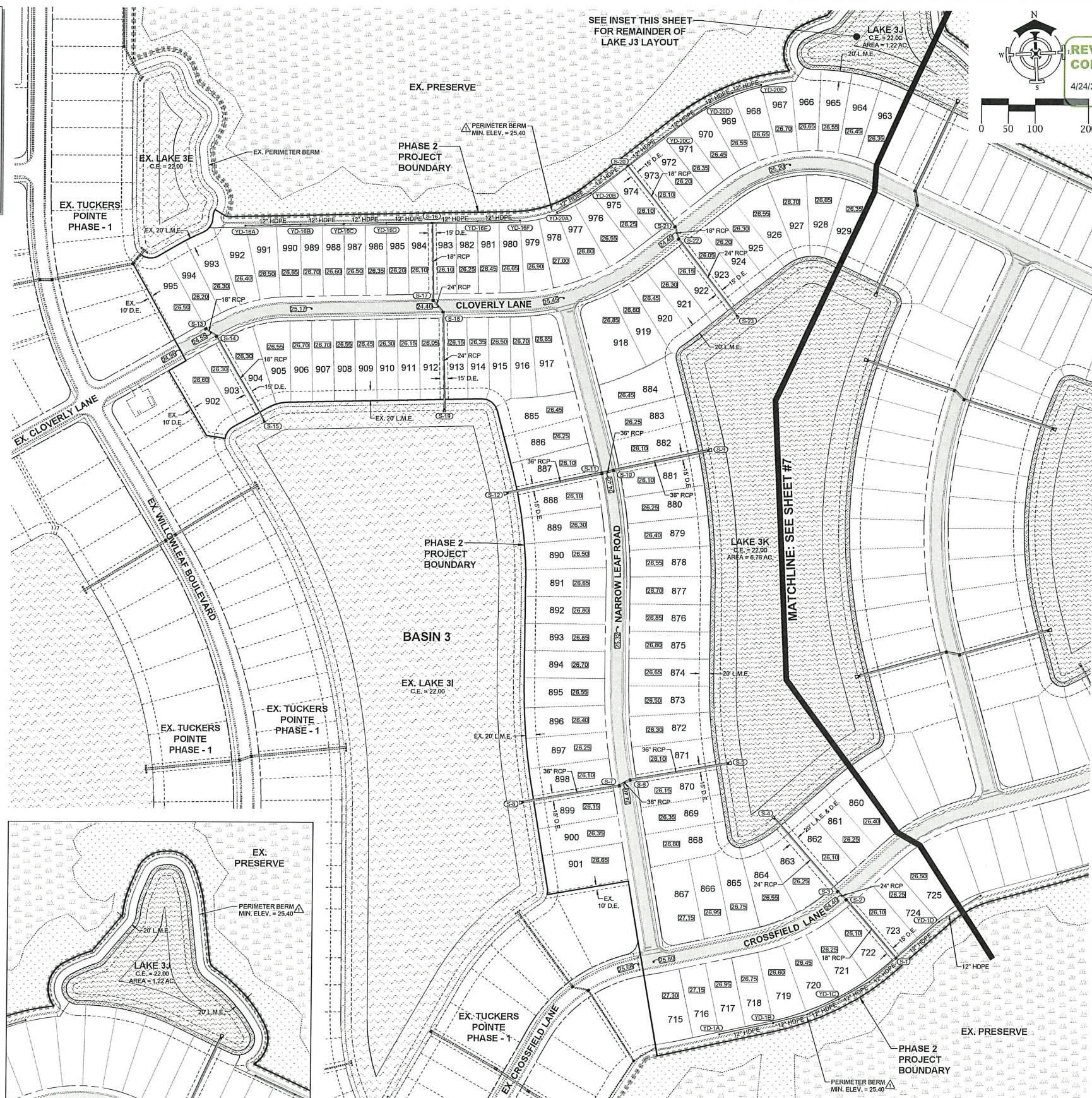
CATEGORY	AREA	PERCENTAGE
BASIN 3		
BUILDING	16.41 AC.	27.5%
PAVEMENT / SIDEWALK	7.29 AC.	12.2%
LAKE	11.28 AC.	18.8%
PERVIOUS	24.78 AC.	41.5%
SUBTOTAL	59.74 AC.	100.0%
BASIN 4		
BUILDING	4.20 AC.	23.1%
PAVEMENT / SIDEWALK	1.90 AC.	10.4%
LAKE	4.26 AC.	23.4%
PERVIOUS	7.86 AC.	43.1%
SUBTOTAL	18.22 AC.	100.0%
TOTAL	77.96 AC.	

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LEGEND

-  LAKE
-  EXISTING LAKE
-  LITTORALS
-  ASPHALT PAVEMENT
-  EXISTING PRESERVE
-  EXISTING BASIN BOUNDARY
-  FINISHED FLOOR ELEVATION

PROJECT DATUM
NAVD



REVIEWED FOR CODE COMPLIANCE
4/24/2025 DRC-24-209

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LICENSE NO. 56776

THIS ITEM HAS BEEN DIGITALLY SIGNED AND
SEALED BY ANDREW D. FITZGERALD ON THE
DATE INDICATED BELOW.

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NOVEMBER 6, 2024

AREA RESERVED FOR AGENCY USE

OWNER / DEVELOPER:
LENNAR
10481 SIX MILE CYPRESS PARKWAY
FORT MYERS, FL 33966

WILLOW - PHASE 2

CCU#24-1007

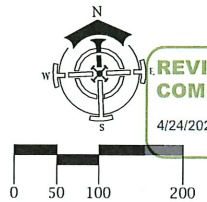
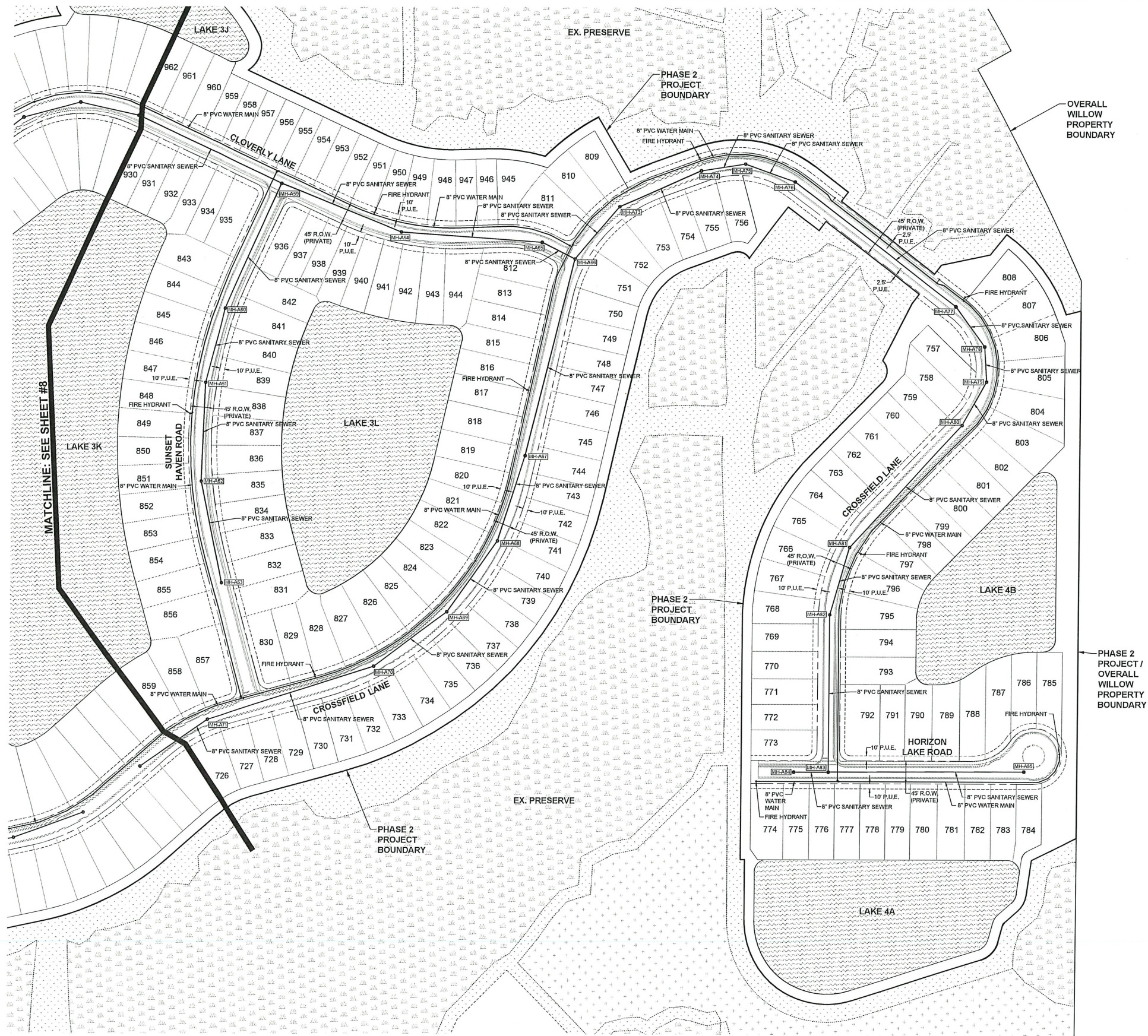
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(WEST)

Project Manager:	ADF
Drawn By:	CAS
Project Number:	W0079.24039
County, State:	CHARLOTTE COUNTY FL

Status

Sheet Number:	6
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COMPLIANCE
4/24/2025 DRC-24-009

RESPEC

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NOVEMBER 6, 2024

AREA RESERVED FOR AGENCY USE

OWNER / DEVELOPER:
LENNAR
10481 SIX MILE CYPRESS PARKWAY
FORT MYERS, FL 33966
(239) 728-1177
PROJECT:
WILLOW - PHASE 2
CCU#24-1007

PLAN REVISIONS		DESCRIPTION
#	DATE	

UTILITY PLAN
(EAST)

Project Manager: ADF
Drawn By: CAS
Project Number: W0079-24039
County, State: CHARLOTTE COUNTY, FL

Status:

Sheet Number: 9

GENERAL UTILITY NOTES:

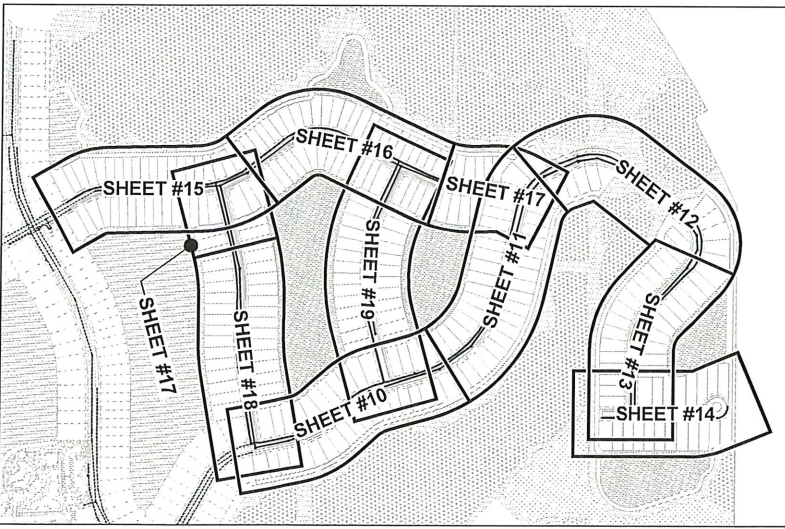
1. CONTRACTOR TO VERIFY THE SIZE AND LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. EXISTING UTILITY INFRASTRUCTURE ON THE PROPERTY TO BE PHYSICALLY LOCATED TO AVOID POTENTIAL CONFLICTS OR DAMAGE TO THIS INFRASTRUCTURE.
2. LOCATIONS OF PROPOSED UTILITY LINES ARE SUBJECT TO MODIFICATIONS TO PRESERVE ANY EXISTING VEGETATION AS DETERMINED BY THE ENGINEER.
3. WHEN REFERENCING IMPROVEMENTS ADJACENT TO THE SUBJECT PROPERTY THE WORD "EXISTING" (OR ABBREVIATED "EX.") SHALL MEAN IMPROVEMENTS PROPOSED BY THE DEVELOPER WHICH ARE INTENDED TO BE CONSTRUCTED PRIOR TO OR CONCURRENT WITH THIS PROJECT.
4. NO TREES OR SHRUBS SHALL BE PLACED SO AS TO BLOCK ACCESS OR LINE OF SIGHT TO FIRE HYDRANTS PLACED WITHIN LANDSCAPE ISLANDS THROUGHOUT THE PROJECT SITE.
5. CONTRACTOR TO PROVIDE UTILITY RECORD DRAWINGS TO OWNER AND ENGINEER PRIOR TO FINAL PAYMENT REQUEST.
6. ALL UNDERGROUND UTILITIES LOCATED BENEATH THE STABILIZED PORTION OF THE ROAD BED SHALL BE INSTALLED PRIOR TO COMPACTION OF THE SUBGRADE.
7. CONTRACTOR SHALL NOTIFY ALL UTILITY PROVIDERS AT LEAST 48 HOURS PRIOR TO THE START OF UNDERGROUND CONSTRUCTION THE CONTRACTOR SHALL DETERMINE IF UTILITIES OTHER THAN THOSE SHOWN THE PLANS EXIST.
8. CONTRACTOR TO EXERCISE CARE TO PROTECT THE ROOTS OF TREES TO REMAIN. WITH THE BRANCH SPREAD OF SUCH TREES, PERFORM ALL TRENCHING BY HAND. OPEN THE TRENCH ONLY WHEN UTILITIES CAN BE INSTALLED IMMEDIATELY. PRUNE INJURED ROOTS CLEARLY AND BACKFILL AS SOON AS POSSIBLE.
9. THE CONTRACTOR IS REQUIRED TO ADJUST ALL EXISTING AND PROPOSED VALVE BOXES, MANHOLE RIMS, GRATES, ETC. AS REQUIRED TO MATCH THE PROPOSED GRADES.
10. CASINGS AND/OR CONDUIT SHALL EXTEND FIVE(5) FEET BEYOND THE EDGE OF PAVEMENT, BACK OF CURB AND/OR SIDEWALK AT EACH END AND SHALL BE INCLUDED IN RECORD DRAWINGS TO THE ENGINEER.
11. THE IRRIGATION SYSTEM SHALL BE PRIVATE AND DESIGNED BY OTHERS.

GENERAL POTABLE WATER NOTES:

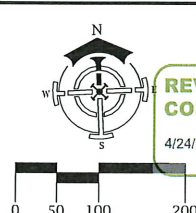
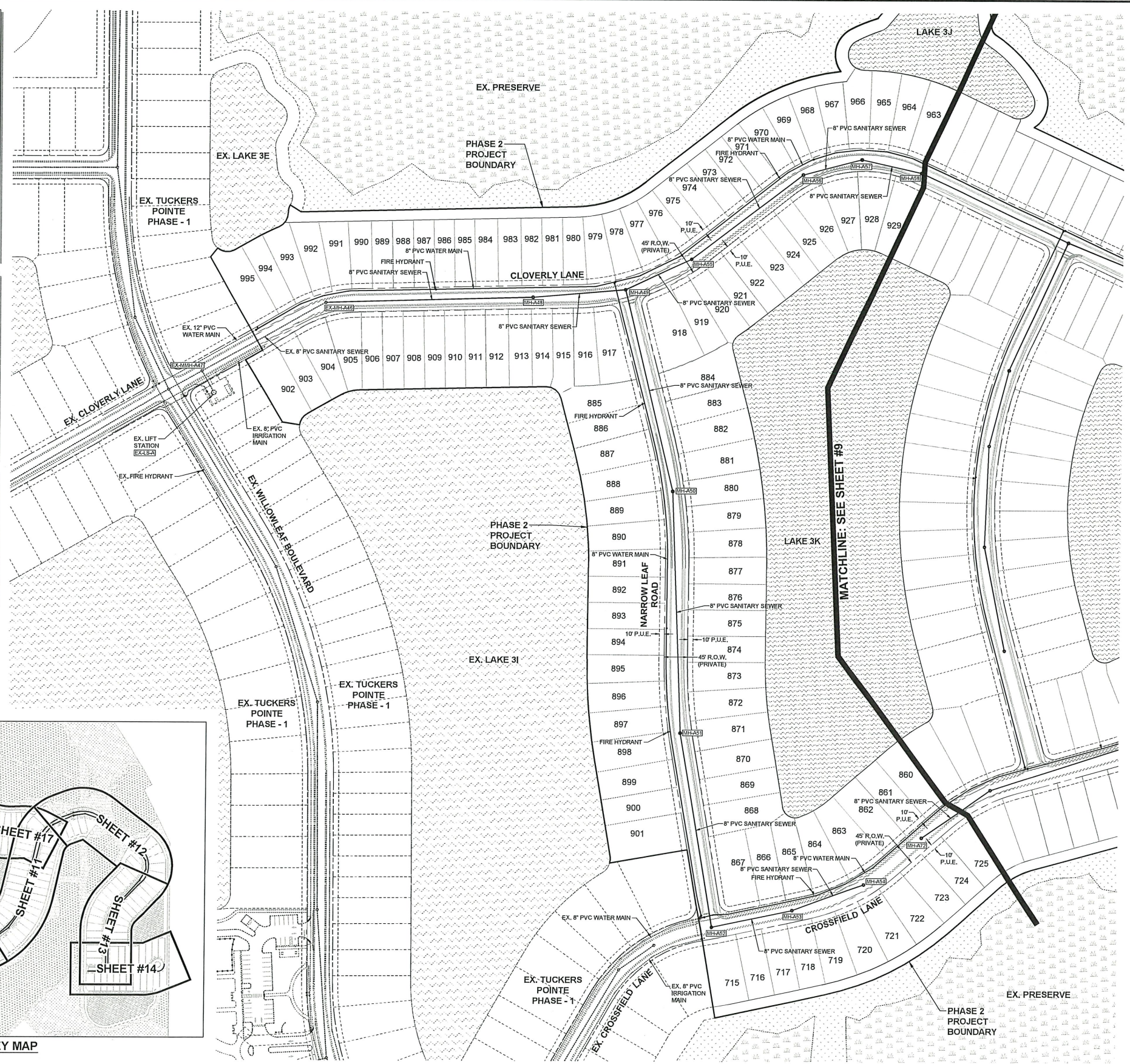
1. ALL UTILITY CONSTRUCTION TO BE IN ACCORDANCE WITH CHARLOTTE COUNTY UTILITIES STANDARD SPECIFICATIONS, LATEST EDITION.
2. ALL COMPONENTS OF THE POTABLE WATER SYSTEM, EXCLUDING FIRE HYDRANTS, SHALL BE IN CONFORMANCE WITH THE AMERICAN NATIONAL STANDARDS. INSTITUTIONS INTERNATIONAL STANDARD 61. THE LOCATION OF PUBLIC WATER SYSTEM MAINS SHALL BE IN ACCORDANCE WITH F.A.C. RULES 62-40, 62-550 AND 62-560. ALL COMPONENTS, INSTALLATION AND TESTING OF THE POTABLE WATER SYSTEM SHALL BE IN ACCORDANCE WITH A.W.W.A. APPLICABLE STANDARDS.
3. PROPOSED WATERLINE FITTINGS ARE SHOWN AT MAJOR BENDS IN WATER MAIN ALIGNMENT. CONTRACTOR SHALL UTILIZE ADDITIONAL FITTINGS AS NECESSARY TO DEFLECT WATERLINE IN ACCORDANCE WITH THE UTILITY PROVIDER SPECIFICATIONS.
4. THE ENDS OF ALL CAPPED POTABLE WATERLINES SHALL BE MARKED WITH ELECTRONIC MARKER AND 2x4 STAKES 5' IN LENGTH WITH Z ABOVE GROUND.
5. THE CONTRACTOR SHALL PROVIDE AND INSTALL BLUE-BLUE REFLECTIVE PAVEMENT MARKERS AS REQUIRED IN CENTER OF ADJACENT TRAVEL LANE AT EACH FIRE HYDRANT.
6. ALL WATER VALVES SHALL CONFORM TO A.W.W.A. C-509 RESILIENT SEATED TYPE.
7. CONTRACTOR SHALL USE 45° BENDS AT CONFLICTS, RESTRAINTS TO BE MEGA-LUG, TYLER M&R GLANDS OR APPROVED EQUAL. CONTRACTOR SHALL NOT EXCEED 75% OF THE MANUFACTURER'S RECOMMENDED MAXIMUM PIPE DEFLECTION.
8. ALL POTABLE WATER MAINS SHALL BE AWWA C-900, DR 18 CLASS 150 PVC RUBBER GASKETED PIPE WITH BELL AND SPIGOT ENDS UNLESS OTHERWISE NOTED.

GENERAL SANITARY SEWER NOTES:

1. ALL UTILITY CONSTRUCTION TO BE IN ACCORDANCE WITH CHARLOTTE COUNTY UTILITIES STANDARD SPECIFICATIONS, LATEST EDITION.
2. CONTRACTOR TO VERIFY INVERT ELEVATION AND LOCATION OF EXISTING SANITARY SEWER MANHOLES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL GRAVITY SEWER LINES SHALL BE PVC (SDR 26), GREEN IN COLOR, UNLESS OTHERWISE NOTED. MINIMUM DEPTH OF GRAVITY SEWER PIPE SHALL BE 5' UNLESS OTHERWISE APPROVED BY CCL.
4. ALL SEWER LENGTHS ARE APPROXIMATE AND ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
5. MANHOLE TOPS ARE APPROXIMATE AND SHOULD BE ADJUSTED TO FINAL GRADE OR PAVEMENT ELEVATION.
6. ALL SANITARY SEWER SERVICES TO BE 8" IN DIAMETER, UNLESS OTHERWISE NOTED.
7. ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH CHARLOTTE COUNTY UTILITIES SPECIFICATIONS FOR GRAVITY SANITARY SEWER SYSTEM.



PLAN & PROFILE KEY MAP
NTS



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LICENSE NO. 36776
THIS SEAL IS VALID FOR THE STATE OF FLORIDA. IT IS THE RESPONSIBILITY OF THE ENGINEER OF RECORD TO MAINTAIN THE QUALITY OF THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE SIGNATURE MUST BE VERIFIED ON ANY REVISIONS.
NOVEMBER 5, 2024

AREA RESERVED FOR AGENCY USE

OWNER / DEVELOPER:
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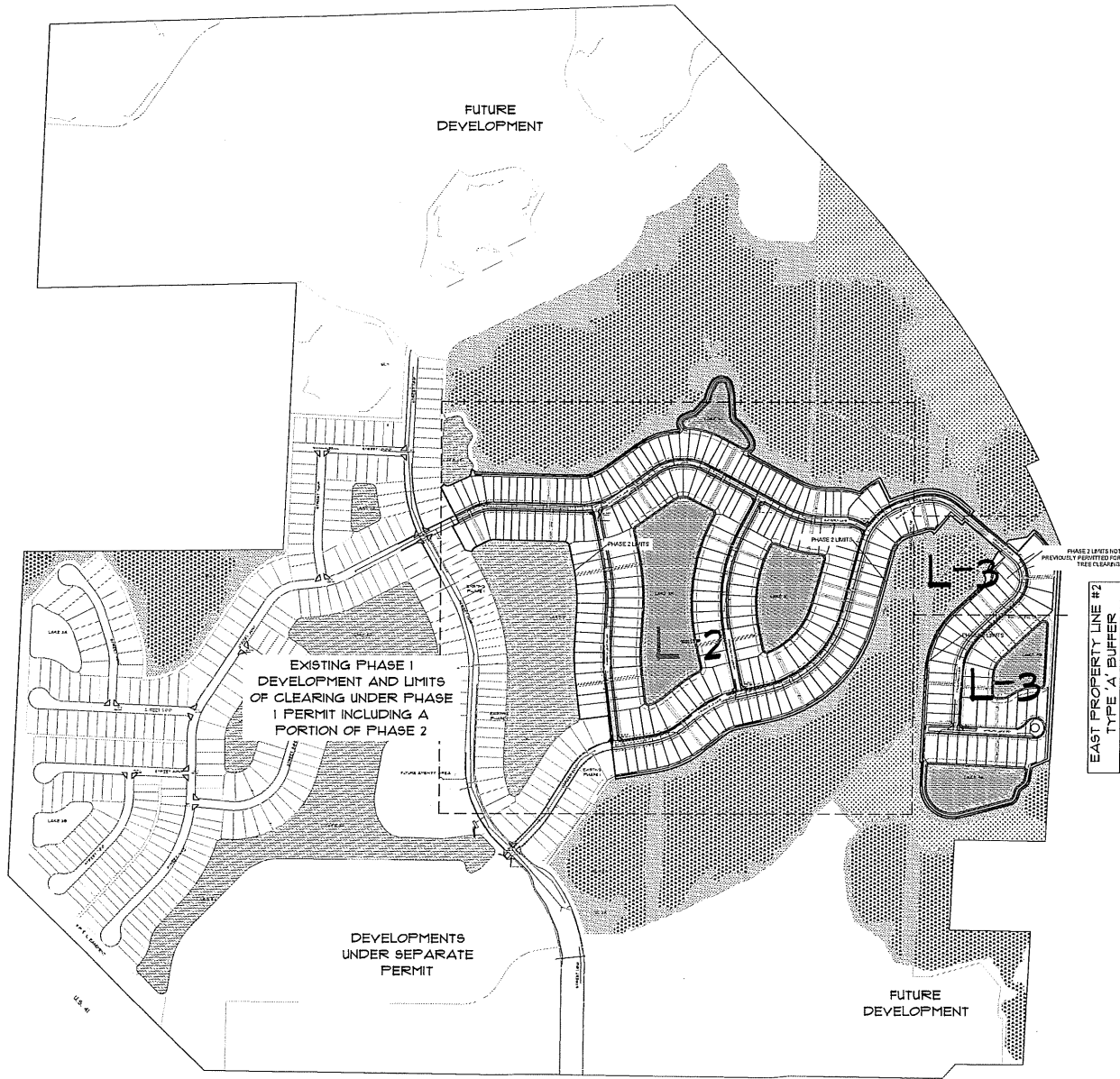
PLAN REVISIONS	
#	DESCRIPTION

UTILITY PLAN
(WEST)

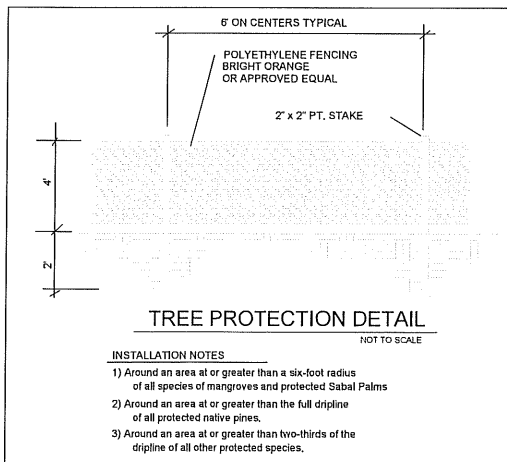
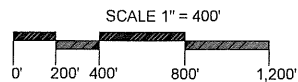
Project Manager:	ADF
Drawn By:	CAS
Project Number:	W0079.24039
County, State:	CHARLOTTE COUNTY, FL

Status: _____

Sheet Number:	8
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KEY SHEET



INSTALLATION NOTES

- 1) Around an area at or greater than a six-foot radius of all species of mangroves and protected Sabal Palms
- 2) Around an area at or greater than the full drip line of all protected native pines.
- 3) Around an area at or greater than two-thirds of the drip line of all other protected species.

LANDSCAPE REQUIREMENT CALCULATIONS

OPEN SPACE

5% of property to be provided in open space. Refer to Engineering Plans for provided open space

BUFFER REQUIREMENTS

PERIMETER BUFFERS

EAST BUFFER #2

(To be provided at time of future development)
Existing Vegetation to fulfill buffer requirement where it exists
Type 'A' Buffer, 15' wide, 2,680 less 1,575 If existing preserve = 1,105 lf.
2 Canopy Trees, 1 Accent Tree, 10 shrubs per 100 lf.
11.0 x 2 x .7 = 16 Trees Required
11.0 x 1 x .7 = 8 Accent Trees Required
11.0 x 10 x .7 = 77 Shrubs Required and Provided

EXISTING VEGETATION NOTE

The site has been cleared under previous phase tree removal permit.

There are no existing trees outside the limits of the preserve areas.

Site Data

Land Use: Residential
Project Area: 3,395,799 SF (PHASE 2)
Excluding Wetlands/Conservation Area/Future Amenity Area
1 Tree point per 2,000 sf of development
3,395,799 / 2,000 = 1,148 tree points required.

Refer to plant list on L-4 for tree points provided.

No more than 25% of the required tree points may be obtained from planted native or non-native palm trees.

No more than 50% of the required tree points may be obtained from approved non-native trees.

Lot Plantings

Lot Tree Point Plantings
Each lot shall contain a minimum of 3.0 tree points per lot.

282 lots x 3.0 = 846 tree points to be installed at time of lot development.

LOT TREES SHALL BE FROM LOT TREE LIST AS SHOWN ON THIS SHEET. LOTS SHALL HAVE A MIX OF TREE SPECIES.

DUE TO LIMITATIONS ON PERCENTAGE REQUIREMENTS FOR SPECIFIC SPECIES IN THE LDC, LIVE OAK OR SLASH PINE SHALL NOT COUNT TOWARD TREE POINTS ON INDIVIDUAL LOTS

Tree Species Mix

Required # of Trees	Minimum # of Species
11-20	2
21-30	3
31-40	4
41+	5

EXHIBIT 5: TREE POINTS

TREE CALIPER (INCHES)	RETAINED NATIVE (EXCEPT PALMS)	INSTALLED NATIVE (EXCEPT PALMS)	NON-NATIVE (INSTALLED OR RETAINED)	NATIVE PALMS (MIN. 6" CLEAR TRUNKS)
2.0	1.0	1.0	0.5	0.5
3.0	1.5	1.5	1.0	0.5
4.0	2.0	2.0	1.5	0.5
5.0	2.5	2.5	2.0	0.5
6.0	3.0	3.0	2.5	0.5
7.0	3.5	3.5	3.0	0.5
8.0	4.0	4.0	3.5	0.5
9.0	4.5	4.5	4.0	0.5
10.0	5.0	5.0	4.5	0.5
11.0	5.5	5.5	5.0	0.5
12.0	6.0	6.0	5.5	0.5
13.0	6.5	6.5	6.0	0.5
14.0	7.0	7.0	6.5	0.5
15.0	7.5	7.5	7.0	0.5
16.0	8.0	8.0	7.5	0.5
17.0	8.5	8.5	8.0	0.5
18.0	9.0	9.0	8.5	0.5
19.0	9.5	9.5	9.0	0.5
20.0	10.0	10.0	9.5	0.5
21.0	10.5	10.5	10.0	0.5
22.0	11.0	11.0	10.5	0.5
23.0	11.5	11.5	11.0	0.5
24.0	12.0	12.0	11.5	0.5
25.0	12.5	12.5	12.0	0.5
26.0	13.0	13.0	12.5	0.5
27.0	13.5	13.5	13.0	0.5
28.0	14.0	14.0	13.5	0.5
29.0	14.5	14.5	14.0	0.5
30.0	15.0	15.0	14.5	0.5
31.0	15.5	15.5	15.0	0.5
32.0	16.0	16.0	15.5	0.5
33.0	16.5	16.5	16.0	0.5
34.0	17.0	17.0	16.5	0.5
35.0	17.5	17.5	17.0	0.5
36.0	18.0	18.0	17.5	0.5
37.0	18.5	18.5	18.0	0.5
38.0	19.0	19.0	18.5	0.5
39.0	19.5	19.5	19.0	0.5
40.0	20.0	20.0	19.5	0.5
41.0	20.5	20.5	20.0	0.5
42.0	21.0	21.0	20.5	0.5
43.0	21.5	21.5	21.0	0.5
44.0	22.0	22.0	21.5	0.5
45.0	22.5	22.5	22.0	0.5
46.0	23.0	23.0	22.5	0.5
47.0	23.5	23.5	23.0	0.5
48.0	24.0	24.0	23.5	0.5
49.0	24.5	24.5	24.0	0.5
50.0	25.0	25.0	24.5	0.5
51.0	25.5	25.5	25.0	0.5
52.0	26.0	26.0	25.5	0.5
53.0	26.5	26.5	26.0	0.5
54.0	27.0	27.0	26.5	0.5
55.0	27.5	27.5	27.0	0.5
56.0	28.0	28.0	27.5	0.5
57.0	28.5	28.5	28.0	0.5
58.0	29.0	29.0	28.5	0.5
59.0	29.5	29.5	29.0	0.5
60.0	30.0	30.0	29.5	0.5
61.0	30.5	30.5	30.0	0.5
62.0	31.0	31.0	30.5	0.5
63.0	31.5	31.5	31.0	0.5
64.0	32.0	32.0	31.5	0.5
65.0	32.5	32.5	32.0	0.5
66.0	33.0	33.0	32.5	0.5
67.0	33.5	33.5	33.0	0.5
68.0	34.0	34.0	33.5	0.5
69.0	34.5	34.5	34.0	0.5
70.0	35.0	35.0	34.5	0.5
71.0	35.5	35.5	35.0	0.5
72.0	36.0	36.0	35.5	0.5
73.0	36.5	36.5	36.0	0.5
74.0	37.0	37.0	36.5	0.5
75.0	37.5	37.5	37.0	0.5
76.0	38.0	38.0	37.5	0.5
77.0	38.5	38.5	38.0	0.5
78.0	39.0	39.0	38.5	0.5
79.0	39.5	39.5	39.0	0.5
80.0	40.0	40.0	39.5	0.5
81.0	40.5	40.5	40.0	0.5
82.0	41.0	41.0	40.5	0.5
83.0	41.5	41.5	41.0	0.5
84.0	42.0	42.0	41.5	0.5
85.0	42.5	42.5	42.0	0.5
86.0	43.0	43.0	42.5	0.5
87.0	43.5	43.5	43.0	0.5
88.0	44.0	44.0	43.5	0.5
89.0	44.5	44.5	44.0	0.5
90.0	45.0	45.0	44.5	0.5
91.0	45.5	45.5	45.0	0.5
92.0	46.0	46.0	45.5	0.5
93.0	46.5	46.5	46.0	0.5
94.0	47.0	47.0	46.5	0.5
95.0	47.5	47.5	47.0	0.5
96.0	48.0	48.0	47.5	0.5
97.0	48.5	48.5	48.0	0.5
98.0	49.0	49.0	48.5	0.5
99.0	49.5	49.5	49.0	0.5
100.0	50.0	50.0	49.5	0.5

* FROM EXHIBIT 8: LIST OF APPROVED TREE SPECIES.
** ADD 0.5 POINTS FOR EVERY INCH THEREAFTER (EXCEPT IN THE CASE OF PALMS, WAX MYRTLES, AND PALMETTO).

* REFER TO SHEET L-4 FOR TOTAL CREDIT TREE POINTS TO BE PROVIDED

APPROVED LOT TREE LIST

The following trees are acceptable to Charlotte County for use on lots to fulfill the tree point requirements.

The individual single-family lots are not eligible for the buyout program as those trees are required for the overall tree point requirement of the site.

No one species may comprise more than 60% of tree species mix.

EXHIBIT 8

List of Approved Tree Species

Approved (For Tree Points) Canopy Tree Species—Native

Florida Royal Palm (Roystonea elata)
Pigeon Plum (Coccoloba diversifolia)
Sabal or Cabbage Palm (Sabal palmetto)
Florida Elm (Ulmus Americana var. floridana)
Wild Tamarind (Lysitoma latissiliquum)
Winged Elm (Ulmus alata)

Approved (For Tree Points) Canopy Tree Species—Non-Native

Black Olive (Bucida buceras)

Approved (For Tree Points) Understory Tree Species—Native

American Holly (Ilex opaca)
Buttonwood (Conocarpus erectus)
Dahoon Holly (Ilex cassine)
East Palatka Holly (Ilex opaca "East Palatka")
Florida Thatch Palm (Thrinax radiata)
Stoppers (Eugenia spp.)
Dahoon Holly (Ilex cassine)
American Holly (Ilex opaca)

Approved (for tree points) Understory Tree Species—Non-Native

Shady Lady Black Olive (Bucida buceras "Shady Lady")
Bottlebrush (Callistemon spp.)
Crape Myrtle (Lagerstroemia indica)
Trumpet Tree (Tabebuia spp.)

Approved (No Tree Points) Palm Species—Non-Native

Foxtail Palm (Wodyetia bifurcata)
Sylvestre Palm (Phoenix sylvestris)

CHARLOTTE COUNTY NOTE:

1. ALTERATIONS TO LANDSCAPING AND BUFFERS REQUIRE PRIOR WRITTEN PERMISSION OF CHARLOTTE COUNTY.
2. TREE PERMITS MUST BE OBTAINED PRIOR TO ANY LAND CLEARING, CUT / FILL ACTIVITIES OR THE ISSUANCE OF ANY BUILDING PERMITS.
3. HABITAT PRESERVE AND OPEN SPACE WETLAND SHALL BE MAINTAINED AND PRESERVED IN PERPETUITY.
4. HABITAT PRESERVE AND OPEN SPACE WETLAND SHALL BE MAINTAINED AND PRESERVED IN PERPETUITY.

HABITAT PRESERVE AND OPEN SPACE WETLAND SHALL BE MAINTAINED AND PRESERVED IN PERPETUITY

Charlotte County General Buffer & Landscape Notes

1. All plants, except transplanted plants, shall meet or exceed the quality standards for Florida No. 1, as provided by Grades and Standards for Nursery Plants, Parts I and II, most recent edition, State of Florida, Department of Agriculture, Tallahassee, [3-9-100 (f)(1)]
2. All planted trees and palms will have a 3" deep saucer (Tree Ring) constructed from the trunk of the tree or palm. (Minimum 4" diameter) Take steps to retain moisture in the soil. Use of organic mulches, such as pine straw, instead of inorganic materials, such as crushed rock, will promote the absorption of water by the soil as well as enhance water retention. Shade provided by established canopy trees reduces evaporation and allows a moist local environment. Avoid watering in the heat of the day to minimize evaporation. Amend fast draining sand soils with organics such as peat to enhance water retention. Careful application of irrigation with properly sized, adjusted, and timed irrigation heads will minimize water loss through evaporation, run-off, and excessive saturation. [3-9-100 (h)] Contractor shall remove any vegetative growth and apply a pre-emergent weed killer per specifications prior to mulching.
3. Buffer areas may not be located on any portion of an existing or dedicated right-of-way or roadway easement. [3-9-100 (e)(2)]
4. All prohibited plant species identified as category I invasive species in the most recent edition of the Florida Exotic Pest Plant Council's List of Invasive Plant Species must be removed from the developed site during development or phase thereof. [3-9-100 (e)(11)]
5. In order to count toward the minimum tree point requirement, a preserved or planted tree must have a minimum height of eight (8) feet measured from the existing grade to the highest point of the foliage and a minimum caliper of two (2) inches measured twelve (12) inches above the existing grade. Sec. [3-9-100.3(c)(3)]. All trees preserved or planted per requirements must remain preserved in perpetuity. [3-9-100.3(c)(3)]
6. While all preserved native palms may be counted toward a development's tree point requirement, no more than twenty-five (25) percent of the required tree points may be obtained from planted native or non-native palms. [3-9-100.3(e)(1)(b)]
7. No more than fifty (50) percent of the required tree points may be obtained from approved non-native trees except that non-native palms shall not count for more than twenty-five (25) percent of total required points per section 3-9-100.3(c)(4). [3-9-100.3(c)(6)]
8. Shrubs and hedges for decorative perimeter and interior landscaping must be a minimum twelve (12) inches in height upon planting, be spaced eighteen (18) to thirty-six (36) inches on center determined by the type of plant used, and be of the type that reach at least twenty-four (24) inches on maturity. [3-9-100 (f)(6)]
9. Hedges for parking lot screening and buffers must be a minimum eighteen (18) inches in height upon planting, be spaced and maintained in order to form a continuous, solid visual screen within one (1) year of planting, and be of the type that reach at least forty-eight (48) inches on maturity. [3-9-100 (f)(7)]
10. Refer to Landscape Construction Documents for additional specifications. Refer to Civil Engineering Plans for additional data.
11. The Landscape Contractor will be responsible for familiarizing themselves with the location of all utilities (underground and overhead) and all site conditions prior to the start of construction.
12. Fertilizer will be a balanced complete fertilizer containing nitrogen, phosphoric acid and potash in percentages outlined in specifications. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas; eliminating all bumps, depressions, sticks, stones and other debris to the satisfaction of the Landscape Architect. All inorganic debris that may damage or inhibit the growth of plant material will be removed from all planting beds. Sod shall not be installed until final grades have been approved.
13. Contractor shall be responsible for complete takeoffs including sod and much quantities. Plant list is for reference only. Plan(s) shall take precedence over plant list.
14. The Landscape Contractor shall maintain all lawns (seeded or sodded), ground covers, shrubs, palms and trees until final acceptance.
15. Maintenance by the Landscape Contractor shall include but not be limited to:
 - A) Inspections & Monitoring
 - : Fertilizing
 - : Insect & Disease Control
 - : Weeding & Cultivating
 - : Moving to maintain 3" heights & Edging
 - : Maintain tree rings, Guys & braces & keep trees/palms erect
 - B) The Landscape Contractor will be responsible to insure that all plant material will be watered thoroughly at time of planting, and insure all plant material will receive an adequate supply of water throughout the construction period. The Landscape Contractor shall be responsible for watering as needed to establish the plant material and ensure healthy plantings through final acceptance.
16. Contractor shall remove all tape and supports (except specified guys & braces) from all plantings prior to final acceptance.
17. All areas of the site disturbed by construction and not planted shall be sodded.
18. Planting widths for buffers must be 1/2 of the buffer width with none being less than 5'.
19. Landscaping shall not interfere with or obstruct existing or proposed overhead or underground utilities. [3-9-100 (e)(6)]
20. PROPOSED TREES SHALL BE FIELD LOCATED WHERE NECESSARY IN ORDER TO MAINTAIN SUFFICIENT DISTANCE OF APPROXIMATELY 10 FEET FROM UNDERGROUND UTILITY LINES. All landscaping shall be installed in conformance with the landscape plan approved by the department or site plan review final approval. [3-9-100 (e)(11)]. Alterations to buffers require the prior written permission of the department.
21. [3-9-100 (f)(15)] All required landscaping and buffers may be served by an automatic irrigation system designed to eliminate the application of water to impervious areas and reduce impacts to existing native vegetation. All required landscaping and buffers shall be irrigated during the establishment period. The applicant may use a temporary irrigation system or hand watering if the applicant can demonstrate that such an approach will provide adequate water for plant survival. All alternative plans of irrigation must be approved by the zoning official or his/her designee.

Maintenance.

- (1) Plantings, fences, walls, berms and irrigation systems required by section [3-9-100 (g)] of Charlotte County Code of Ordinances must be maintained in good repair. Landscaped and buffer areas must be kept free of weeds, litter and debris.
- (2) Damage to any of the landscaping or structures required by this section [3-9-100 (g)] shall be replanted or replaced, as applicable, within ninety (90) days or one (1) growing season, whichever is sooner. Damage to a required fence or wall by a natural disaster shall be repaired within one hundred eighty (180) days.
- (3) It is unlawful to violate any of the provisions of this section [3-9-100 (g)].
- (4) The department may enforce compliance with this section [3-9-100 (g)] as provided by law and may perform reasonable inspections to insure continued compliance.



DAVID M. JONES, JR.
AND ASSOCIATES, INC.

LANDSCAPE ARCHITECTS
AND PLANNERS

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L.A. LICENSE: LC 0000063

PROJECT INFORMATION:

WILLOWS
PHASE 2
CHARLOTTE CO., FL

PREPARED FOR:

Respec
1605 Hendry Street
Fort Myers, FL 33901
Ph: (239) 418-0691
Fax: (239) 418-0692
Email:
andrew.fitzgerald@respec.com

CONSULTANT:

DESIGN PROFESSIONAL:

Digitally signed by
Gregory J. Diserio, RLA
DN: cn=Gregory J.
Diserio, RLA, o=David M.
Jones, Jr. and Associates,
Inc., ou
email=gdiserio@dmjafla.c
om, c=US
Date: 2025.04.10 14:40:00
-0400

GREGORY J. DISERIO, RLA
RLA NO. 840 DATE:
STATE OF FLORIDA

PROJECT NO.

224166

PROJECT YR:

GREG DISERIO

FILE NAME:

WILLOWS PH 2 LS

DESIGNER:

GJD

CAD TECH:

GJD

CHECKED BY:

GJD

ISSUED FOR:

SITE PERMIT

ISSUED DATE:

AUG 7, 2024

REVISIONS:

JAN. 1, 2025 RAI RESPONSE

(APRIL 10, 2025 RAI RESPONSE)

SHEET TITLE:

LANDSCAPE
CALCULATIONS

SHEET NUMBER:

L-1

CALL 48 HOURS
BEFORE YOU DIG

IT'S THE LAW!
DIAL 811



Know what's BELOW.
Call before you dig.

811