



DATE: January 29, 2024

TO: Honorable Board of County Commissioners

FROM: Maryann Franks, Zoning Supervisor
Professional Qualifications as provided in Exhibit 1.

RE: **DRC-23-00020, Final Detail Site Plan, Old Landfill Road Outdoor Storage Facility**

Requested Action(s):

Sitti Engineering Group is requesting PD Final Detail Site Plan approval for Old Landfill Road Outdoor Storage Facility. The project consists of a 600 SF office and vehicular storage with canopies. This project site is 20.97± acres and is located at 25505 Old Landfill Road., Port Charlotte, FL 33980 in Section 19, Township 40, Range 23 in Commission District I.

Analysis:

This project site is 20.97± acres and is located at 25505 Old Landfill Road, Port Charlotte, FL. The site is designated as Low Intensity Industrial in the 2030 Future Land Use Map and is currently zoned Planned Development (PD). The proposed Final Detail Site Plan consists of a 600 SF office and vehicular storage with canopies and is consistent with the County's Comprehensive Plan and existing PD conditions.

This Final Detail Site Plan complies with all conditions, as well as being in compliance with the approved concept plan. The site plans are attached as Exhibit 2.

The Final Detail Site Plan has been approved through the Site Plan Review process, this proposal will not create any concurrency issues (Exhibit 4, Approval Letter).

Based upon the analysis and conclusions set forth herein, in staff's professional opinion, the application (Final Detail Site Plan, DRC-23-00020) is generally consistent with Charlotte County's comprehensive plan, Charlotte County's Code of Laws and Ordinances and other applicable guidelines.

COMMUNITY DEVELOPMENT DEPARTMENT

18400 Murdock Circle
Port Charlotte, FL 33948
Phone: 941.764.4909 | Fax: 941.764-4180



Qualifications of Maryann Franks

Position: Zoning Supervisor

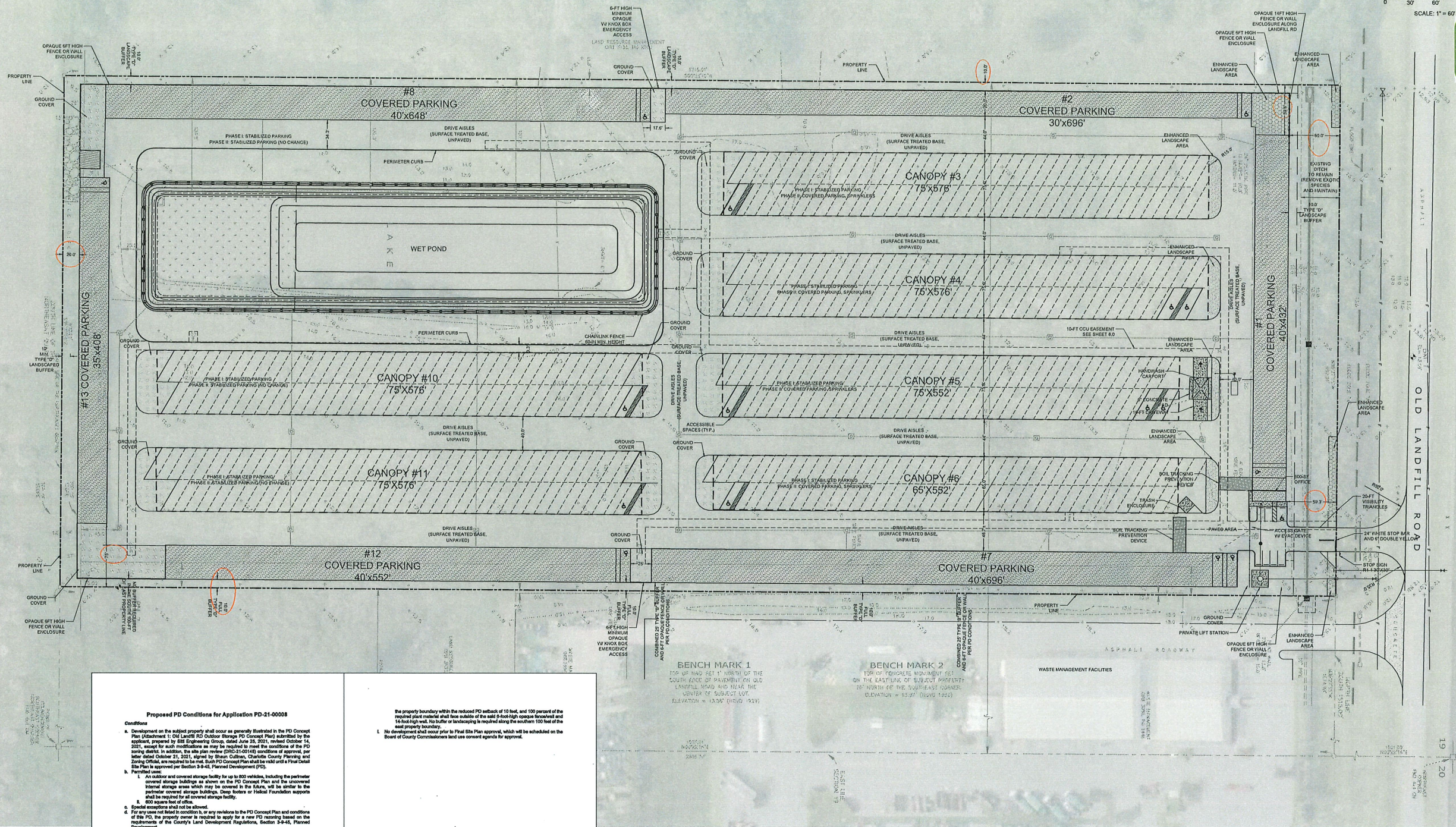
Years with Charlotte County: 24

Position Summary & Experience: I have worked as a Permitting Technician, Zoning Technician, Zoning Technician II, Permitting, Licensing & Zoning Supervisor, Zoning Coordinator and Zoning Supervisor for Charlotte County Community Development, Zoning Department for 24 years. My duties include reviewing and making recommendations of compliance with Charlotte County zoning regulations on Preliminary and Final Detail Site Plans, Preliminary and Final Plats to the Board of County Commissioners. I also coordinate and compile the recommendations and conditions of the reviewing departments and agencies into the final recommendation to the Board of County Commissioners. I am responsible for assisting staff and training staff. I supervisor the Environmental Specialists and the Project Coordinators, Zoning Technicians.

Exhibit 1



Know what's below.
Call before you dig.
48 HOURS BEFORE DIGGING



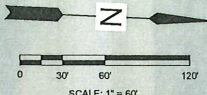
Proposed PD Conditions for Application PD-21-00008

- Conditions:**
- Development on the subject property shall occur as generally illustrated in the PD Concept Plan (Attachment 1: Old Landfill RD Outdoor Storage PD Concept Plan) submitted by the applicant, prepared by SSI Engineering Group, dated June 26, 2021, revised October 14, 2021, except for such modifications as may be required to meet the conditions of the PD zoning district. In addition, the site plan review (DRC-21-00008) conditions of approval, per letter dated October 21, 2021, signed by Brian Cullen, Charlotte County Planning and Zoning Official, are required to be met. Each PD Concept Plan shall be void until a Final Detail Site Plan is approved per Section 3-4-45, Planned Development (PD).
 - Permitted uses:
 - An outdoor and covered storage facility for up to 800 vehicles, including the perimeter covered storage buildings as shown on the PD Concept Plan and the uncovered internal storage areas which may be covered in the future, will be similar to the perimeter covered storage buildings. Drive floors or vertical foundation supports shall be required for all covered storage facility.
 - 800 square feet of office.
 - Special exceptions shall not be allowed.
 - For any use not listed in conditions i, or any revisions to the PD Concept Plan and conditions of this PD, the property owner is required to apply for a new PD recording based on the requirements of the County's Land Development Regulations, Section 3-4-45, Planned Development.
 - The maximum height for the new wall of the covered storage is 14 feet.
 - The maximum Floor Area Ratio is 0.1643 for all fully enclosed buildings.
 - Soft tracking devices shall be provided as shown on the PD Concept Plan.
 - The area between the entrance to the project and the location of the soil tracking device shall be paved in County materials, and shall have a surface for dust control to be required for the rest of the development area. The proposed access road/delivery shall be constructed to County County standards as a local access road.
 - The site shall be developed with a unified landscaping theme.
 - The Planned Development minimum requirement of 25 feet shall be reduced to 10 feet on the east, west and south boundaries of the property. The north boundary will maintain the existing 20-foot-wide strip.
 - Landscaping and buffer requirements:
 - The covered 3-sided buildings will be connected with a 6-foot opaque fence or wall. At a minimum, a Type D buffer is required along the property boundary within the reduced PD setbacks of 10 feet except for the east property boundary. 100 percent of the required plant material shall be located outside of the said 6-foot-high opaque fence/wall, and 14-foot-high wall, or facing Old Landfill Road. A security chain-link fence is permitted along the north property as shown on the PD Concept Plan.
 - At a minimum, a double staggered hedge row at least 24 inches in height at time of planting and maintained at a minimum of 24 inches in height within one year of planting along the north property boundary shown as "Enhanced Landscape at the Entrance" on the PD Concept Plan.
 - The property owner may work together with the property owner immediately located to the east which is also zoned PD for a transfer station to place a combined Type B buffer between the subject property and the property immediately to the east that is a total of twenty-five feet in width, and a six-foot-high opaque fence or wall. If the property owner chooses not to work with the adjacent property owner, a Type D buffer is required along

- the property boundary within the reduced PD setback of 10 feet, and 100 percent of the required plant material shall be located outside of the said 6-foot-high opaque fence/wall and 14-foot-high wall. No buffer or landscaping is required along the southern 100 feet of the east property boundary.
- No development shall occur prior to Final Site Plan approval, which will be scheduled on the Board of County Commissioners land use consent agenda for approval.

PROPERTY DEVELOPMENT REGULATIONS PER PD-21-00008

MIN. SETBACKS	FRONT	50 FEET
	SIDES	10 FEET
	REAR	10 FEET
<hr/>		
LANDSCAPE BUFFERS	PER PD-21-00008 CONDITION (N)	



REVIEWED ENGINEERING COMPLIANCE GROUP
Land Development
1/25/2024 DRC-23-00020



13650 FIDDLSTICKS
BLVD STE 202-350
FORT MYERS, FL 33912

t: 239.900.9150
f: 941.786.0004

www.siti.net
projects@siti.net

FLORIDA BOARD
OF PROFESSIONAL ENGINEERS
CERTIFICATE OF AUTHORIZATION No. 28007

1" = 60'

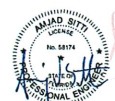
PREPARED FOR:
CHARLOTTE CO BOAT & RV STORAGE LLC
2265 AUBURN BLVD
PORT CHARLOTTE, FL 33948

PROJECT NAME:
25505 OLD LANDFILL RD
CHARLOTTE COUNTY, FLORIDA

SHEET NAME:
SITE PLAN

PROJECT NUMBER:
RKS001-21

SHEET NUMBER:
C-4.0

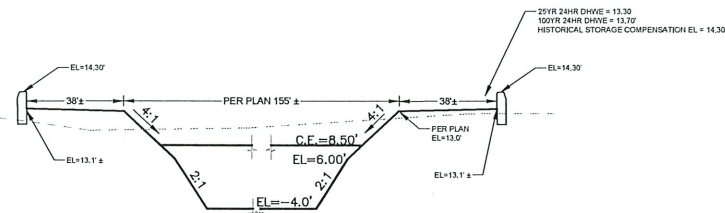


Amjad Sitti
2024.01.24
14:23:41
-05'00'

DRC-23-00020
CCU PROJECT NO. 22-11007
SWFWMD APPLICATION NO. 831563

THIS PLAN IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL:
OR A VALIDATED ELECTRONIC SIGNATURE FOR DIGITAL DOCUMENTS.

AMJAD SITI, PE
No. 28174
Florida License No. 28174



MIN ROAD ELEVATION = 13.30'
MINIMUM FFE=14.30'

ALL CANOPIES DRAINAGE TO BE CONNECTED
TO THE STORMWATER COLLECTION SYSTEM

SITTI
ENGINEERING GROUP
REVIEWED FOR COMPLIANCE
Land Development
1/25/2024 DRC-23-00020

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FORT MYERS, FL 33912

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1" = 60'

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2265 AUBURN BLVD
PORT CHARLOTTE, FL 33948

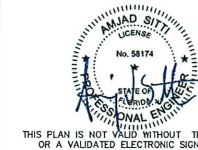
PROJECT NAME:
25505 OLD LANDFILL RD
CHARLOTTE COUNTY, FLORIDA

SHEET NAME:
GRADING AND DRAINAGE PLAN

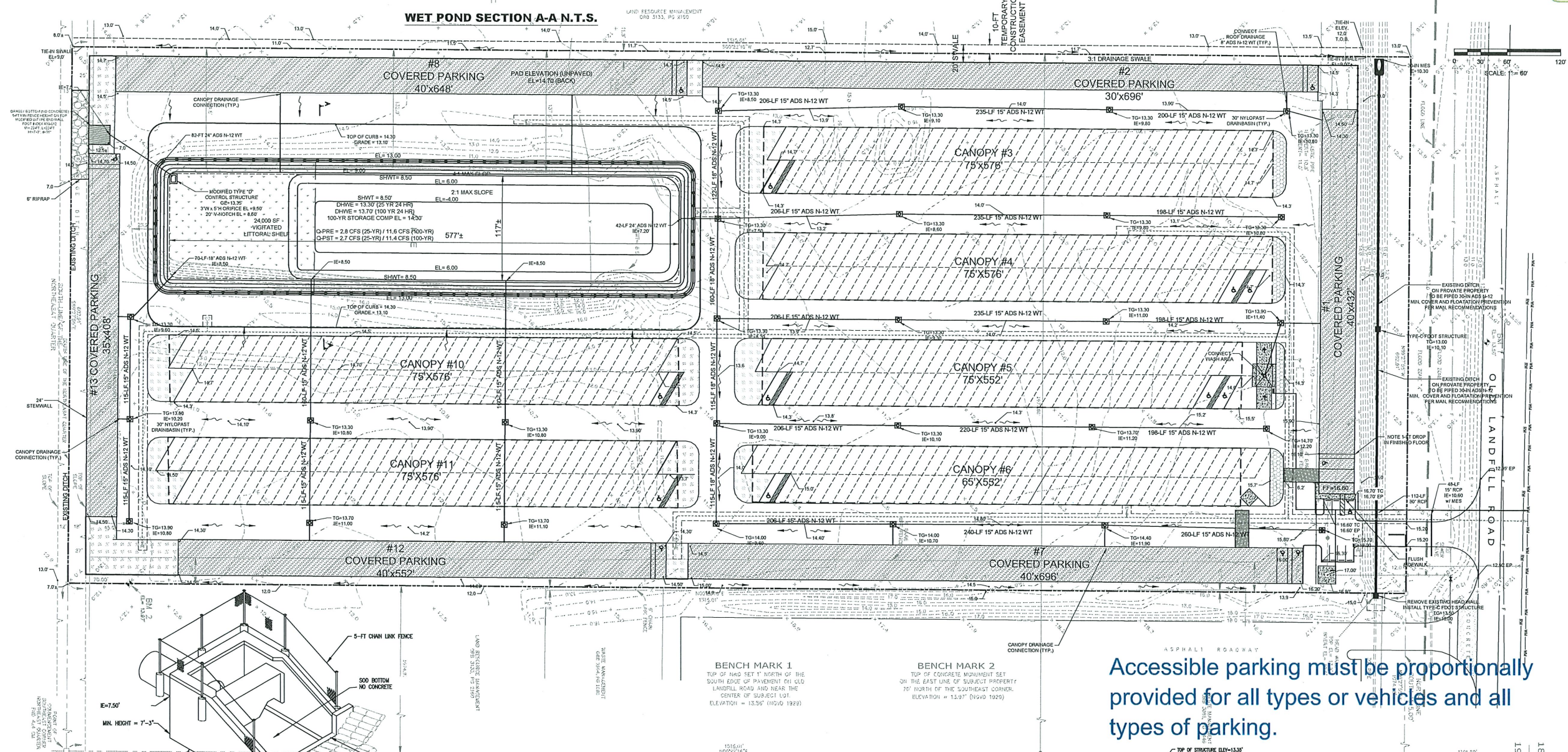
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RKS001-21

SHEET NUMBER
C-5.0

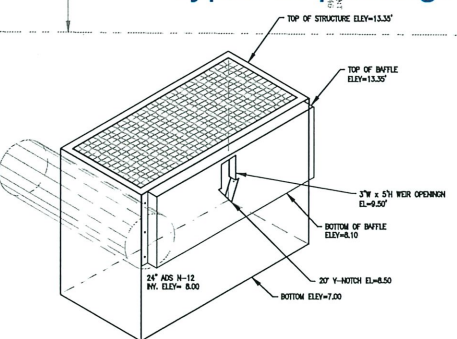
Amjad Sitti
2024.01.24
14:24:27
-05'00'



THIS PLAN IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL;
OR A VALIDATED ELECTRONIC SIGNATURE FOR DIGITAL DOCUMENTS.



Accessible parking must be proportionally
provided for all types or vehicles and all
types of parking.



"IT SHALL BE THE DEVELOPERS' RESPONSIBILITY TO PROTECT ALL COUNTY OWNED AND MAINTAINED FACILITIES. ANY/ALL COSTS ASSOCIATED WITH ALTERATIONS, RELOCATION OR REPAIRS MADE NECESSARY BY THIS DEVELOPMENT SHALL BE BORNE BY THE EITHER THE OWNER, DEVELOPER AND/OR CONTRACTOR. SPLICES IN THE FIBER OPTIC CABLE OR THE ADDITION OF ADDITIONAL PULL/JUNCTION BOXES WILL NOT BE PERMITTED. IN THE EVENT A CABLE IS CUT, DAMAGED OR REQUIRES RELOCATION, THE CABLE(S) SHALL BE RESTORED BACK TO THE ORIGINAL CONFIGURATION, ORIGINAL CONFIGURATION IS DEFINED AS SYSTEM STATUS, LAYOUT AND DESIGN PRIOR TO ANY WORK COMMENCING."

"A LIGHTING DISTRICT RIGHT OF WAY USE PERMIT WILL BE REQUIRED FOR ANY WORK ASSOCIATED WITH INSPECTION, RELOCATION OR THE REPAIR OF ANY EXISTING COUNTY OWNED OR MAINTAINED FACILITY WITHIN THE PLACIDA RD. PUBLIC RIGHTS-OF-WAY. SPECIFIC STIPULATIONS OR CONDITIONS WILL BE IMPOSED AT TIME OF PERMIT APPLICATION. IN THE EVENT COUNTY OWNED FACILITIES REQUIRE ALTERATIONS, RELOCATION AND/OR REPAIR, THAT WORK WILL BE PERFORMED BY CHARLOTTE COUNTY FORCES OR FORCES CONTRACTED BY OR APPROVED BY CHARLOTTE COUNTY TO MAKE THE NECESSARY CORRECTIONS. EITHER THE OWNER, DEVELOPER AND/OR CONTRACTOR WILL POST A CHECK IN AN AMOUNT SUFFICIENT TO COVER MENTIONED COSTS OR THE COSTS NEEDED TO INSPECT WORK TO ENSURE WORK PERFORMED WITHIN THE RIGHT-OF-WAY IS PERFORMED IN ACCORDANCE WITH AND ACCEPTABLE TO COUNTY AND FDOT STANDARDS. AN ESTIMATED AMOUNT WILL BE CALCULATED BASED UPON THE TYPE OF WORK REQUIRED. SHOULD THE COSTS TO ALTER, RELOCATE, REPAIR OR INSPECT EXCEED THE ESTIMATED AND POSTED AMOUNT, THE PERMIT HOLDER BY ACCEPTANCE OF THE PERMIT CONDITIONS, WILL BE CHARGED AND AGREE TO REIMBURSE CHARLOTTE COUNTY, ANY ADDITIONAL COSTS INCURRED. NO WORK SHALL COMMENCE UNTIL THIS CHECK IS POSTED AND NO CO WILL BE GIVEN UNTIL ANY OUTSTANDING MONIES DUE THE COUNTY ARE SETTLED."

IMPORTANT NOTE:
ELEVATIONS SHOWN ON THIS SHEET IS SHOWN TO THE SUPPLIED SURVEY B.M. IN THE NGVD29 DATUM.



Know what's below.
Call before you dig.
48 HOURS BEFORE DIGGING

CLOSURE AND DISPOSAL:

1. ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL SHALL BE REMOVED FROM SITE IN THE EVENT OF THE CONSTRUCTION SITE IS ABANDONED PRIOR TO PROJECT COMPLETION.
2. VEGETATION FROM CLEARING AND GRUBBING WILL BE DISPOSED OFF SITE IN LEGAL MANNER.

"A LIGHTING DISTRICT RIGHT OF WAY USE PERMIT WILL BE REQUIRED FOR ANY WORK ASSOCIATED WITH INSPECTION, RELOCATION OR THE REPAIR OF ANY EXISTING COUNTY OWNED OR MAINTAINED FACILITY WITHIN THE PLACIDA RD. PUBLIC RIGHTS-OF-WAY. SPECIFIC STIPULATIONS OR CONDITIONS WILL BE IMPOSED AT TIME OF PERMIT APPLICATION. IN THE EVENT COUNTY OWNED FACILITIES REQUIRE ALTERATIONS, RELOCATION AND/OR REPAIR, THAT WORK WILL BE PERFORMED BY CHARLOTTE COUNTY FORCES OR FORCES CONTRACTED BY OR APPROVED BY CHARLOTTE COUNTY TO MAKE THE NECESSARY CORRECTIONS. EITHER THE OWNER, DEVELOPER AND/OR CONTRACTOR WILL POST A CHECK IN AN AMOUNT SUFFICIENT TO COVER MENTIONED COSTS OR THE COSTS NEEDED TO INSPECT WORK TO ENSURE WORK PERFORMED WITHIN THE RIGHT-OF-WAY IS PERFORMED IN ACCORDANCE WITH AND ACCEPTABLE TO COUNTY AND FDOT STANDARDS. AN ESTIMATED AMOUNT WILL BE CALCULATED BASED UPON THE TYPE OF WORK REQUIRED. SHOULD THE COSTS TO ALTER, RELOCATE, REPAIR OR INSPECT EXCEED THE ESTIMATED AND POSTED AMOUNT, THE PERMIT HOLDER BY ACCEPTANCE OF THE PERMIT CONDITIONS, WILL BE CHARGED AND AGREE TO REIMBURSE CHARLOTTE COUNTY, ANY ADDITIONAL COSTS INCURRED.

NO WORK SHALL COMMENCE UNTIL THIS CHECK IS POSTED AND NO CO WILL BE GIVEN UNTIL ANY OUTSTANDING MONIES DUE THE COUNTY ARE SETTLED."

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2265 AUBURN BLVD
PORT CHARLOTTE, FL 33948

25505 OLD LANDFILL RD
CHARLOTTE COUNTY, FLORIDA

CILILII FLAN

PROJECT NAME:	CHA	SHEET NAME:
PROJECT NUMBER		
RKS001-21		
SHEET NUMBER		
C-8.0		

AMJAD SITI, PE
License No. 58174

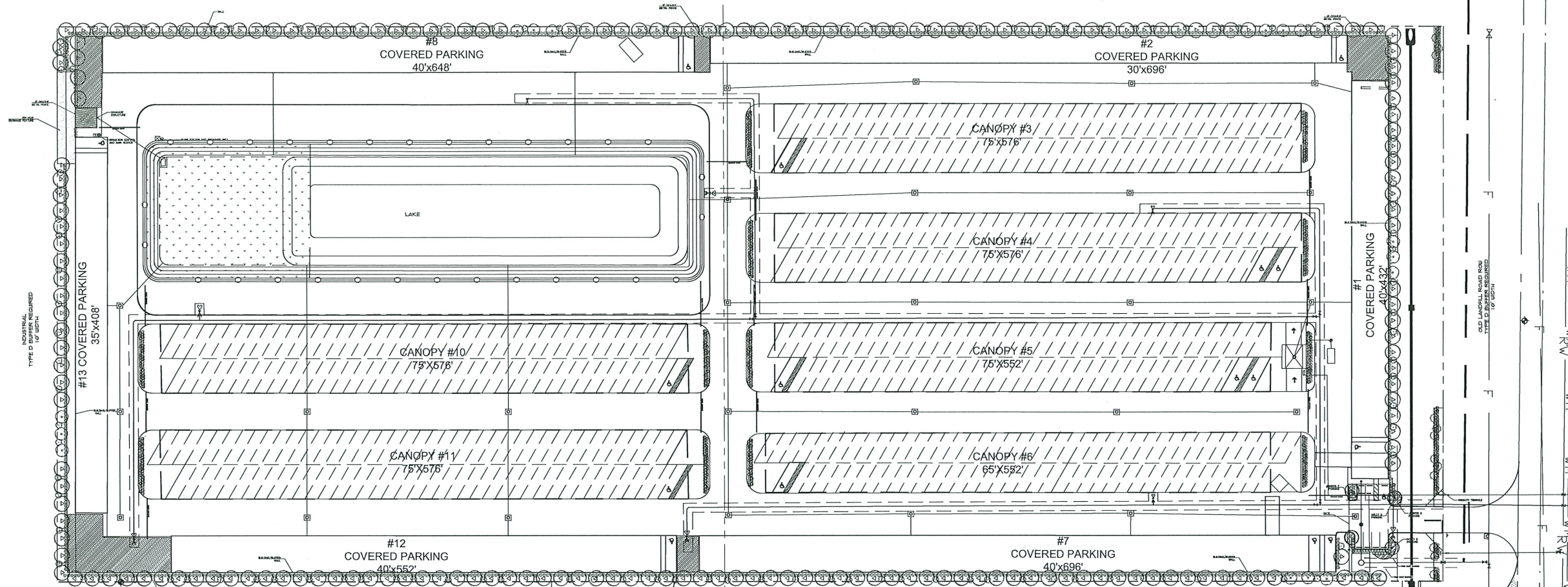
DRC-23-00020
CCU PROJECT NO. 22-1007
SWFWMD APPLICATION NO. 831563



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Call before you dig.
48 HOURS BEFORE DIGGING

BENCHMARKS, ELEVATIONS, AND AS-BUILTS FOR CHARLOTTE COUNTY UTILITIES SHALL BE TO THE NAVD-88 DATUM. TO CONVERT THE ELEVATIONS FROM THE NGVD-29 DATUM SUBTRACT 1.12'

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY THAT ALL LOCAL, STATE, AND FEDERAL PERMITS ARE APPROVED AND IN-HAND PRIOR TO COMMENCING CONSTRUCTION



CHARLOTTE COUNTY CODE REQUIREMENTS		
PROJECT INFORMATION		
PROJECT NAME	OLD LANDFILL ROAD STORAGE	
PROJECT ADDRESS	11555 OLD LANDFILL ROAD	
PROJECT ZONING CLASSIFICATION	PLANNED DEVELOPMENT PD	
SEC 3.8-100.3C INTERIOR PARKING LOT LANDSCAPING		
1 TREE PER PARKING SPACE		
PARKING SPACES PROVIDED:		4 ISLANDS
TREES REQUIRED		4 TREES
TREES PROVIDED		4 TREES
SEC 3.8-100.3 TREE REQUIREMENTS - TOTAL SITE AREA		
TOTAL SITE AREA		914,760 SQFT
1 TREE POINT PER 1,000 SQFT REQUIRED		
TREES REQUIRED		4180 TREE PTS
2" CAL NATIVE TREES	1 POINTS	1210 TREE PTS
2" CAL NON-NATIVE TREES	1.5 POINTS	3240 TREE PTS
4" CAL NATIVE TREES	2.5 POINTS	000 TREE PTS
2" CAL NON-NATIVE TREES	0.5 POINTS	000 TREE PTS
2" CAL NON-NATIVE TREES	1.0 POINTS	000 TREE PTS
4" CAL NON-NATIVE TREES	1.5 POINTS	000 TREE PTS
4" CT NATIVE PALMS	0.5 POINTS	4 TREE PTS
TREES PROVIDED		4510 TREE PTS

EC 3.9.10.1. BUFFERS


NORTH PROPERTY LINE @ ROW				
ABUTTING USE	ROW		BUFFER WIDTH	WALL REQUIRED
	BUFFER TYPE			
	D			
BUFFER LENGTH				603' UNFT
REDUCED BY EASEMENTS, BUFFERS OR DRAVES				30' UNFT
VEGETATED BUFFER LENGTH				573' UNFT
CANOPY TREES REQUIRED	1 / 20 LF			29' CAN. TREES
CANOPY TREES PROVIDED				29' CAN. TREES
ACCENT TREES REQUIRED	1 / 33 LF			18' ACC. TREES
ACCENT TREES PROVIDED				18' ACC. TREES
SHRUBS REQUIRED	1 / 4 LF			144' SHRUBS
SHRUBS PROVIDED				144' SHRUBS
SOUTH PROPERTY LINE @ AGRICULTURAL				
ABUTTING USE	AG		BUFFER WIDTH	WALL REQUIRED
	BUFFER TYPE			
	D			
BUFFER LENGTH				603' UNFT
REDUCED BY EASEMENTS, BUFFERS OR DRAVES				0' UNFT
VEGETATED BUFFER LENGTH				603' UNFT
CANOPY TREES REQUIRED	1 / 20 LF			31' CAN. TREES
CANOPY TREES PROVIDED				31' CAN. TREES
ACCENT TREES REQUIRED	1 / 33 LF			19' ACC. TREES
ACCENT TREES PROVIDED				19' ACC. TREES
SHRUBS REQUIRED	1 / 4 LF			151' SHRUBS
SHRUBS PROVIDED				151' SHRUBS
EAST PROPERTY LINE @ WASTE MANAGEMENT				
ABUTTING USE	IND		BUFFER WIDTH	WALL REQUIRED
	BUFFER TYPE			
	D			
BUFFER LENGTH				1,515' UNFT
REDUCED BY EASEMENTS, BUFFERS OR DRAVES				0' UNFT
VEGETATED BUFFER LENGTH				1,515' UNFT
CANOPY TREES REQUIRED	1 / 20 LF			76' CAN. TREES
CANOPY TREES PROVIDED				76' CAN. TREES
ACCENT TREES REQUIRED	1 / 33 LF			46' ACC. TREES
ACCENT TREES PROVIDED				46' ACC. TREES
SHRUBS REQUIRED	1 / 4 LF			379' SHRUBS
SHRUBS PROVIDED				379' SHRUBS
WEST PROPERTY LINE @ INDUSTRIAL				
ABUTTING USE	IND		BUFFER WIDTH	WALL REQUIRED
	BUFFER TYPE			
	D			
BUFFER LENGTH				1,515' UNFT
REDUCED BY EASEMENTS, BUFFERS OR DRAVES				0' UNFT
VEGETATED BUFFER LENGTH				1,515' UNFT
CANOPY TREES REQUIRED	1 / 20 LF			76' CAN. TREES
CANOPY TREES PROVIDED				76' CAN. TREES
ACCENT TREES REQUIRED	1 / 33 LF			46' ACC. TREES
ACCENT TREES PROVIDED				46' ACC. TREES
SHRUBS REQUIRED	1 / 4 LF			379' SHRUBS
SHRUBS PROVIDED				379' SHRUBS

MASTER PLANT LIST						
CANOPY TREES AND PALMS						
NAME	COMMON	QUANTITY	SPECIFICATION	TREE POINTS	NATIVE	
QUERCUS VIRGINIANA	LIVE OAK	201	12" HT, 5" SP, 3" CAL. MIN.	301.5	NATIVE	
LAGOSTROMBA INDICA	CREPE MYRTLE	129	10" HT, 4" SP, 3" CAL. MIN.	129.0	NATIVE	
ULMA AMERICANA	ELM	6	12" HT, 5" SP, 3" CAL. MIN.	9.0	NATIVE	
MAGNOLIA GRANDIFLORA	MAGNOLIA	3	12" HT, 5" SP, 3" CAL. MIN.	4.5	NATIVE	
MAHAGANI SWIETENIA	MAHOGANY	6	12" HT, 5" SP, 3" CAL. MIN.	9.0	NATIVE	
SABAL PALMETTO	SABAL PALM	12	12"-14" CT. MN.	6.0	NATIVE	
			TREE POINT TOTAL	459.0		
SHRUBS AND GROUND COVERS						
NAME	COMMON	QUANTITY	SPECIFICATION		NATIVE	
MYRTACANTHES FRAGRANS	STOPPER	44	24" HT MIN., 7 GAL		NATIVE	
CHRYSOBLANUS JACCO	COCOPALM	3054	12" HT MIN., 7 GAL		NATIVE	
SPARTINA BAKERI	SAND CORD GRASS	391	12" HT. MIN., 1 GAL		NATIVE	
MULLENERGIA CAPILLARIS	MULEY GRASS	1494	12" HT. MIN., 1 GAL		NATIVE	
JUNIPERUS CHINENSIS	PARSONS JUNIPER	40	12" HT. MIN., 1 GAL		NON-NATIVE	
PASPALUM NOTATUM	BAHIA SOD		SAND GROWN, ROLLED			
PINE STRAW MULCH			3" DEPTH COMPACTED			

REQUIRED TREES	MIN. NUMBER OF SPECIES
11-20	2
21-30	3
31-40	4
41+	5

- (g) *Maintenance.*
- (1) Plantings, fences, walls, berms and irrigation systems required by this section must be maintained in good repair. Landscaped and buffer areas must be kept free of weeds, litter and debris.
 - (2) Damage to any of the landscaping or structures required by this section shall be replanted or replaced, as applicable, within ninety (90) days or one (1) growing season, whichever is sooner. Damage to a required fence or wall by a natural disaster shall be repaired within one hundred eighty (180) days.
 - (3) It is unlawful to violate any of the provisions of this section.
 - (4) The department may enforce compliance with this section as provided by law and may perform reasonable inspections to insure continued compliance.
 - (5) All required landscaping and buffers may be served by an automatic irrigation system designed to eliminate the application of water to impervious areas and reduce impacts to existing native vegetation. All required landscaping and buffers shall be irrigated during the establishment period. The applicant may use a temporary irrigation system or hand watering if the applicant can demonstrate that such an approach will provide adequate water for plant survival. All alternative plans of irrigation must be approved by the zoning official or his/her designee.
 - (6) Tree pruning shall be conducted according to the most recent edition of the National Arborist Association Standards.

Alterations to landscaping and buffers require the prior written permission of Charlotte County



JOSEPH H. KELLEY, P.L.A.
 LANDSCAPE ARCHITECTURE AND LAND PLANNING
 3808 HANOVER ST., FORT MYERS, FL 33901
 JOSEHKELLEY@AOL.COM/CAS.NET

Joseph H Kelley Digitally signed by Joseph H Kelley
Date: 2023.12.22 13:15:47 -05'00'

JOSEPH H KELLEY, RLA
FLOIDA, MISSISSIPPI 39204-1111-0000

25505 OLD LANDFILL ROAD
STORAGE FACILITY, CHARLOTTE COUNTY FLORIDA
INDUSTRIAL DEVELOPMENT
CODE REQUIRED MINIMUM LANDSCAPE PLAN

DATE: 09.24.2021
DRAWN BY: JOSH KELLEY

FILE NAME:
OLD LANDFILL ROAD STORAGE-LS.DWG

REVISION NOTES:

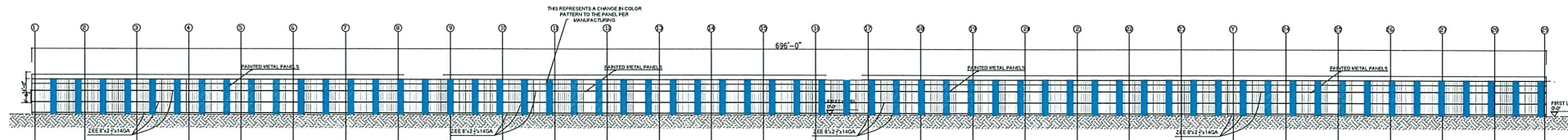
SHEET NUMBER:

L-1
1 OF 5

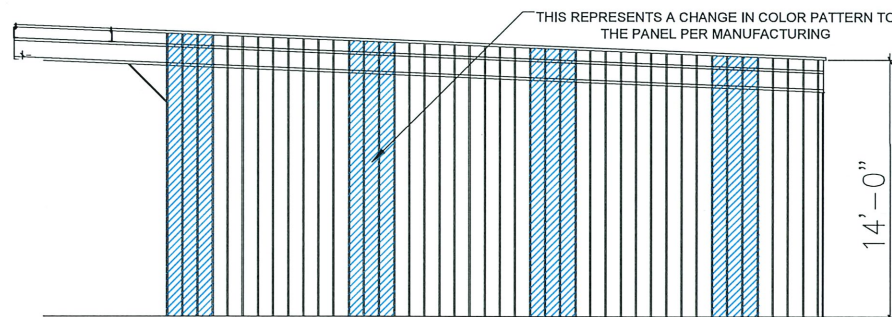


0 60' 120' 180'

SCALE 1" = 60'



1 FRONT ELEVATION
1/32" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"

3 TYP. ELEVATION DETAILS FOR PAINTED WALL PANELS
S-6

ALL THE DESIGN AND DETAILS ON THIS PLAN ARE THE PROPERTY OF FLORIDA ENGINEERING, LLC. AND SHALL NOT BE USED, COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF FLORIDA ENGINEERING, LLC.

Florida
Engineering, LLC
11111 N. W. 11th Avenue, Suite 101
Fort Lauderdale, FL 33322
PH: 941-391-5590
FAX: 941-979-8195



I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS AND AS ACCOMPANIED BY DESIGN & SUPPORT DOCUMENTS, COMPLETION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE 2018 FLORIDA BUILDING CODE. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSSES. THE DESIGN SHALL BE PREPARED IN COMPLIANCE WITH THE 2020 7th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

RV STORAGE
25505 OLD LANDFILL RD.,
PORT CHARLOTTE, FL
MK CONSTRUCTION

REV 1:	REV 4:
REV 2:	REV 5:
REV 3:	REV 6:

DRAWN BY: BA
PROJECT #: 2302357

SCALE: AS PER PLAN

SHEET TITLE:

ELEVATION

SHEET NUMBER:

S-6



January 24, 2024

Sitti Engineering Group
Attn: Amjad Sitti
13650 Fiddlesticks Blvd STE 202-350
Fort Myers FL 33912

Re: DRC-23-00020 Old Landfill Rd Outdoor Storage – PD Final Detail Site Plan
September 7, 2023 agenda

Dear Applicant:

County staff has reviewed the PD Final Detail Site Plan for Old Landfill Rd Outdoor Storage. The project consists of outdoor storage of vehicles with covered canopy parking areas, and a ±600 SF office. This project site is 20.97± acres and is located at 25505 Old Landfill Rd, Port Charlotte, FL in Section 19, Township 40 South, Range 23 East.

It is the decision of the Zoning Official to forward DRC-23-00020 to the Board of County Commissioners with a recommendation of approval. The comments are as follows:

1. All structures are subject to further review at time of Building permitting. Julia Galofre – BCS
2. All utilities construction must be performed in accordance with the Utilities Department approved and signed plans and in accordance with any conditions specified in the Utility Department plans approval letter.
3. CCU Final Plans Approval Letter is required prior to the issuance of any construction permits.
4. A Utility Agreement must be executed and all applicable utility connection fees paid PRIOR to construction of utilities.
5. Contact Sandra Weaver at 941-764-4322 for further information on these items.
6. Use CCU Application for Plans Review and Utility Agreement and Minimum Technical & Drawing Standards found at these links:
<https://www.charlottecountyfl.gov/core/fileparse.php/532/urlt/plan-review-new-service-application.pdf>
<https://www.charlottecountyfl.gov/departments/utilities/engineering/design-compliance.shtml> Sandra Weaver – CCU
7. An updated Environmental Assessment shall be provided that clearly delineates FLUUCS and wetland areas (vs GIS data).

8. Prior to or at the time of building permit application, provide a completed Tree Permit Application as appropriate for this site, along with a tree inventory of location, types, sizes of trees overlaid on a site plan of the building, parking, and other site amenities. Identify the trees proposed to be removed and preserved. All trees to be preserved or removed must be in accordance with Section 3-9-100: Buffers, Landscaping, and Tree Requirements, of the County Code. Tree permits must be obtained prior to any land clearing/ fill activity or the issuance of any building permits.
9. An updated survey must be provided; the survey is over 3 years old. Potentially Occupied Gopher Tortoise Burrows were documented onsite, and the site contains cleared and maintained uplands that may provide suitable habitat for burrowing owls. A Pre-construction survey (within 90 days prior to construction) should be conducted and If burrows are found that can't be avoided with 25' and 33' buffers respectively, a permit(s) should be obtained from the Florida Fish & Wildlife Conservation Commission.
10. The applicant should follow Appendix D: Best Management Practices (BMP's) contained in the FWS Florida bonneted bat October 22, 2019 Consultation Key to arrive at not likely adversely affect the species. The subject site falls within the consultation area of several other federally listed species but does not provide suitable habitat.
11. The project must comply with Chapter 3-5, Article IV, Clearing, Filling and Soil Conservation requirements of the County Code. Best Use Management Plans must be documented on final site plans and utilized during all land clearing and development activities.
12. The Final Site Plan should comply with the requirements as established in 3-9-45 Open Space and Article XVI Open Space/ Habitat Reservation. Anastacia DeFilippo – Environmental
13. Fire hydrant required to within 300' of each building.
14. If the building(s) is required to have a fire sprinkler system then the FDC (Fire Dept. Connection) shall be within 100' of the fire hydrant.
15. Per Charlotte County Ordinance 3-3-4 (5) Fire hydrants shall be installed as may be necessary so that the distance between hydrants does not exceed 600 feet. The minimum flow from any hydrant shall be such that it is designed to deliver 1250 G.P.M. at 20 pounds P.S.I. residual pressure for a minimum of two hours.
16. FDC shall be a 5" storz connection with a height of 30" above finish grade and at a 30-degree angle.
17. Roadways shall be at least 20' wide of clear space for fire department access. Scott Morris – Fire
18. A copy of the approved landscape plan, with the digital approval stamps, must be uploaded/included with any/all permits for the site. Elizabeth Nocheck – Landscape

The decision to approve or deny this PD Final Detail Site Plan application will be made by the Board of County Commissioners on the February 27, 2024 Land Use Consent Agenda. It is recommended, but not required to have a representative present at the meeting. No permits will be issued until final approval.

When you submit for a building permit, be sure to include a copy of this approval letter.

Sincerely,

Cullinan,
Shaun

Digitally signed by
Cullinan, Shaun
Date: 2024.01.25
16:36:20 -05'00'

Shaun Cullinan
Planning and Zoning Official

cc: Charlotte Co Boat & RV Storage LLC
2265 Auburn Blvd
Port Charlotte FL 33948