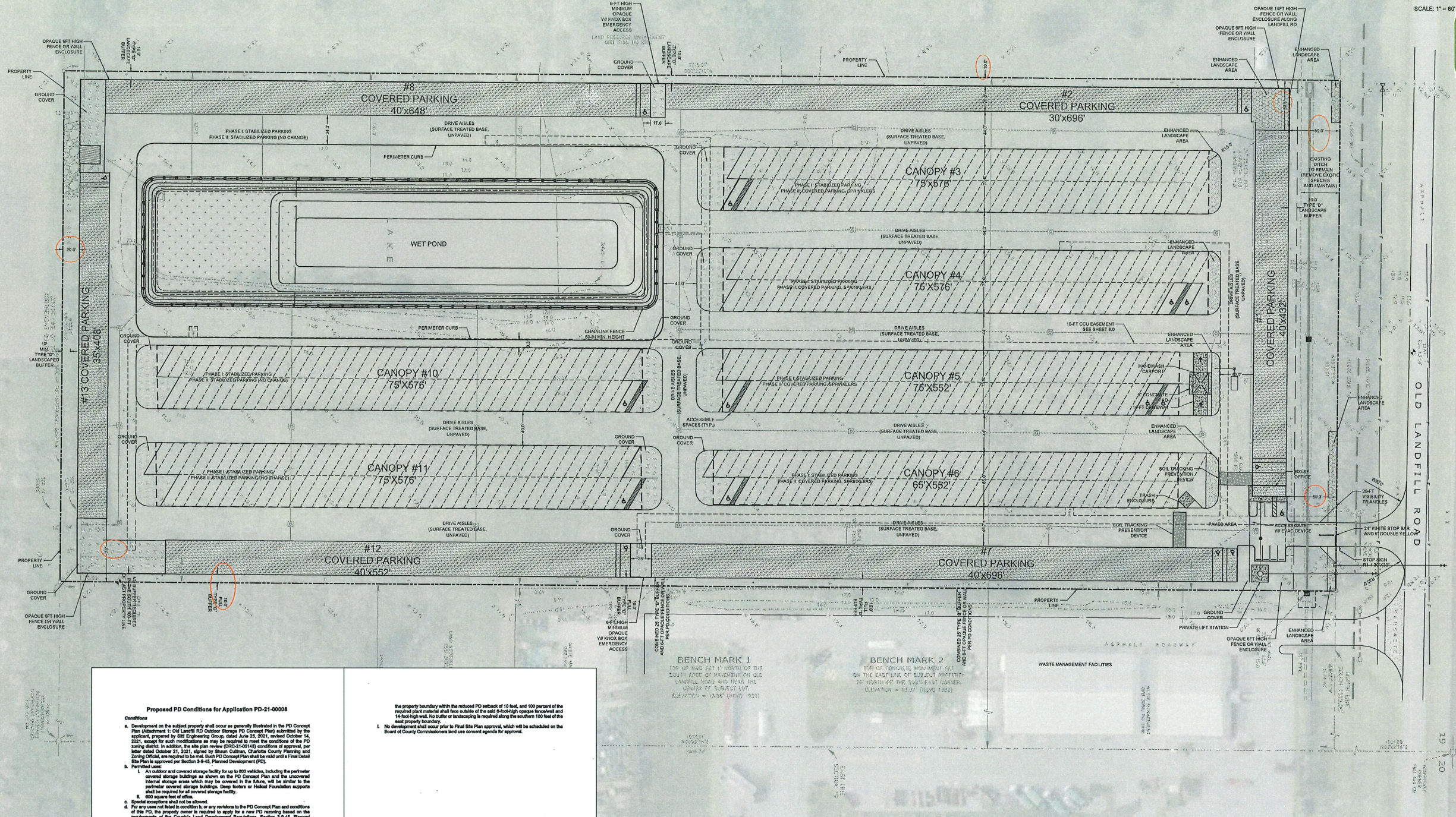




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Proposed PD Conditions for Application PD-21-00008

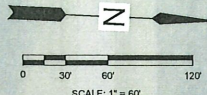
- Conditions:
- Development on the subject property shall occur as generally illustrated in the PD Concept Plan (Attachment 1: Old Landfill RD Outdoor Storage PD Concept Plan) submitted by the applicant, prepared by SSI Engineering Group, dated June 25, 2021, revised October 14, 2021, except for such modifications as may be required to meet the conditions of the PD zoning district. In addition, the site plan review (DRC-21-00008) conditions of approval, per letter dated October 21, 2021, signed by Brian Cullen, Charlotte County Planning and Zoning Official, are required to be met. Each PD Concept Plan shall be void until a Final Detail Site Plan is approved per Section 3-4-45, Planned Development (PD).
  - Permitted uses:
    - An outdoor and covered storage facility for up to 800 vehicles, including the perimeter covered storage buildings as shown on the PD Concept Plan and the uncovered internal storage areas which may be covered in the future, will be similar to the perimeter covered storage buildings. Drive floors or vertical foundation supports shall be required for all covered storage facility.
    - 800 square feet of office.
  - Special exceptions shall not be allowed.
  - For any use not listed in conditions 1, or any revisions to the PD Concept Plan and conditions of this PD, the property owner is required to apply for a new PD recording based on the requirements of the County's Land Development Regulations, Section 3-4-45, Planned Development.
  - The maximum height for the new wall of the covered storage is 14 feet.
  - The maximum Floor Area Ratio is 0.1643 for all fully enclosed buildings.
  - Soft tracking devices shall be provided as shown on the PD Concept Plan.
  - The area between the entrance to the project and the location of the soil tracking device shall be paved in County materials, and shall have a surface for dust control as required for the rest of the development area. The proposed access road/delivery shall be constructed to County County standards as a local access road.
  - The site shall be developed with a unified landscaping theme.
  - The Planned Development minimum requirement of 25 feet will be reduced to 10 feet on the east, west and south boundaries of the property. The north boundary will maintain the existing 20-foot-wide strip.
  - Landscaping and buffer requirements:
    - The covered 3-sided buildings will be connected with a 6-foot opaque fence or wall. At a minimum, a Type D buffer is required along the property boundary within the reduced PD setbacks of 10 feet except for the east property boundary. 100 percent of the required plant material shall be located outside of the said 6-foot-high opaque fence/wall, and 14-foot-high wall, or facing Old Landfill Road. A security chain-link fence is permitted along the north property as shown on the PD Concept Plan.
    - At a minimum, a double staggered hedge row at least 24 inches in height at time of planting and maintained at a minimum of 24 inches in height within one year of planting along the north property boundary shown as "Enhanced Landscape at the Entrance" on the PD Concept Plan.
    - The property owner may work together with the property owner immediately located to the east which is also zoned PD for a transfer station to place a combined Type B buffer between the subject property and the property immediately to the east that is a total of twenty-five feet in width, and a six-foot-high opaque fence or wall. If the property owner chooses not to work with the adjacent property owner, a Type D buffer is required along

the property boundary within the reduced PD setback of 10 feet, and 100 percent of the required plant material shall be located outside of the said 6-foot-high opaque fence/wall and 14-foot-high wall. No buffer or landscaping is required along the southern 100 feet of the east property boundary.

1. No development shall occur prior to Final Site Plan approval, which will be scheduled on the Board of County Commissioners land use consent agenda for approval.

PROPERTY DEVELOPMENT REGULATIONS PER PD-21-00008

MIN. SETBACKS	FRONT	50 FEET
	SIDES	10 FEET
	REAR	10 FEET
LANDSCAPE BUFFERS	PER PD-21-00008 CONDITION (N)	



13650 FIDDLSTICKS  
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FLORIDA BOARD  
OF PROFESSIONAL ENGINEERS  
CERTIFICATE OF AUTHORIZATION No. 28007

1" = 60'

PREPARED FOR:  
CHARLOTTE CO BOAT & RV STORAGE LLC  
2265 AUBURN BLVD  
PORT CHARLOTTE, FL 33948

PROJECT NAME:  
25505 OLD LANDFILL RD  
CHARLOTTE COUNTY, FLORIDA

SHEET NAME:  
SITE PLAN

PROJECT NUMBER:  
RKS001-21

SHEET NUMBER:  
C-4.0



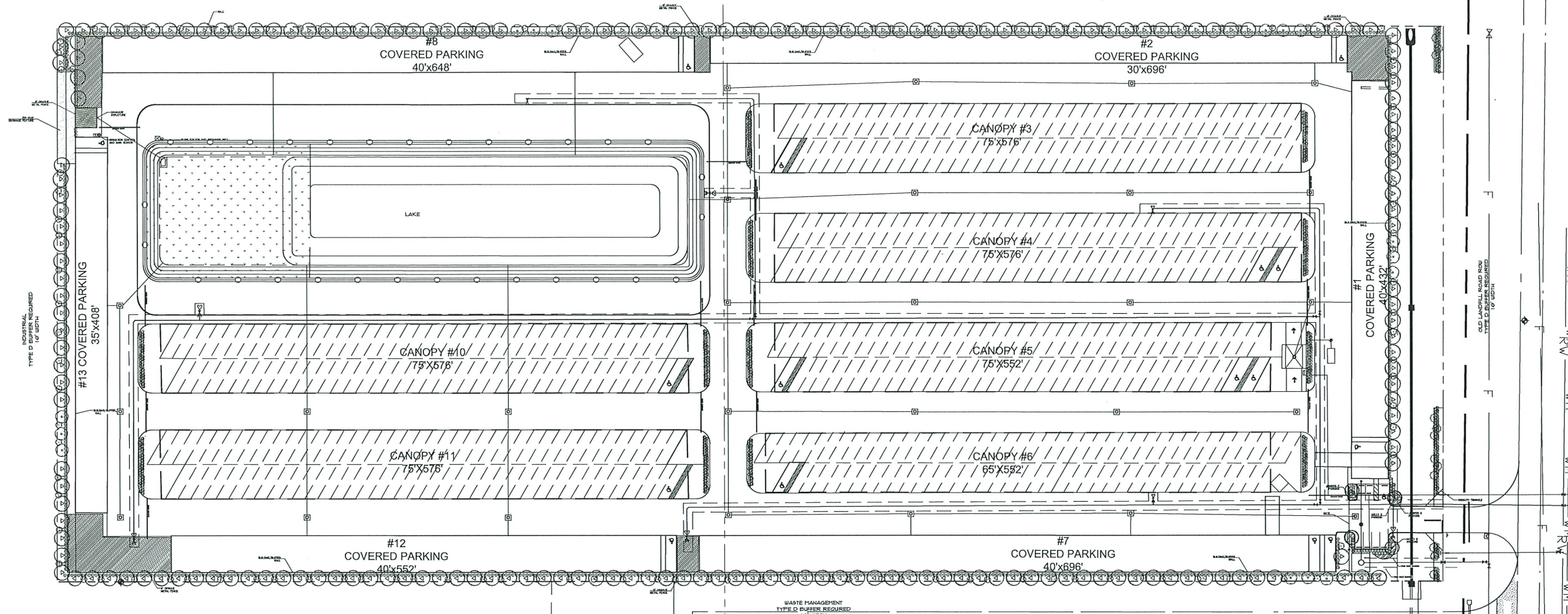
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DRC-23-00020  
CCU PROJECT NO. 22-11007  
SWFWMD APPLICATION NO. 831563

THIS PLAN IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL:  
OR A VALIDATED ELECTRONIC SIGNATURE FOR DIGITAL DOCUMENTS.

AMJAD SITI, P.E.  
Florida License No. 28174





CHARLOTTE COUNTY CODE REQUIREMENTS			
PROJECT INFORMATION			
PROJECT NAME	OLD LANDFILL ROAD STORAGE		
PROJECT ADDRESS	35595 OLD LANDFILL ROAD		
PROJECT ZONING CLASSIFICATION	PLANNED DEVELOPMENT PD		
SEC 3A-100.3C INTERIOR PARKING LOT LANDSCAPING			
1 TREE PER PARKING ISLAND			
PARKING ISLANDS PROVIDED:		4	ISLANDS
TREES REQUIRED		4	TREES
TREES PROVIDED		4	TREES
SEC 3A-100.3 TREE REQUIREMENTS - TOTAL SITE AREA			
TOTAL SITE AREA		914,760	SQFT
1 TREE POINT PER 2,000 SQFT REQUIRED			
TREE POINTS REQUIRED		458.0	TREE PTS
2" CAL NATIVE TREES	1 POINTS	129.0	TREE PTS
3" CAL NATIVE TREES	1.5 POINTS	324.0	TREE PTS
4" CAL NATIVE TREES	2.5 POINTS	0.0	TREE PTS
2" CAL NON-NATIVE TREES	0.5 POINTS	0.0	TREE PTS
3" CAL NON-NATIVE TREES	1.0 POINTS	0.0	TREE PTS
4" CAL NON-NATIVE TREES	1.5 POINTS	0.0	TREE PTS
6" CT NATIVE PALMS	0.5 POINTS	4	TREE PTS
TREE POINTS PROVIDED		458.0	TREE PTS

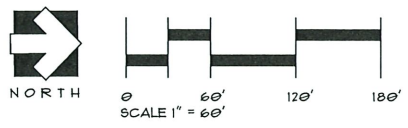
SEC 3A-100.1 BUFFERS			
NORTH PROPERTY LINE @ ROW			
ABUTTING USE	ROW	BUFFER TYPE	BUFFER WIDTH
		D	10'
BUFFER LENGTH			603' LNFT
REDUCED BY EASEMENTS, BUFFERS OR DRIVES			30' LNFT
VEGETATED BUFFER LENGTH			573' LNFT
CANOPY TREES REQUIRED	1 / 20 LF		28' CAN TREES
CANOPY TREES PROVIDED			29' CAN TREES
ACCENT TREES REQUIRED	1 / 33 LF		18' ACC. TREES
ACCENT TREES PROVIDED			18' ACC. TREES
SHRUBS REQUIRED	1 / 4 LF		144' SHRUBS
SHRUBS PROVIDED			144' SHRUBS
SOUTH PROPERTY LINE @ AGRICULTURAL			
ABUTTING USE	AG	BUFFER TYPE	BUFFER WIDTH
		D	10'
BUFFER LENGTH			603' LNFT
REDUCED BY EASEMENTS, BUFFERS OR DRIVES			0' LNFT
VEGETATED BUFFER LENGTH			603' LNFT
CANOPY TREES REQUIRED	1 / 20 LF		31' CAN TREES
CANOPY TREES PROVIDED			31' CAN TREES
ACCENT TREES REQUIRED	1 / 33 LF		19' ACC. TREES
ACCENT TREES PROVIDED			19' ACC. TREES
SHRUBS REQUIRED	1 / 4 LF		151' SHRUBS
SHRUBS PROVIDED			151' SHRUBS
EAST PROPERTY LINE @ WASTE MANAGEMENT			
ABUTTING USE	WM	BUFFER TYPE	BUFFER WIDTH
		D	10'
BUFFER LENGTH			1,515' LNFT
REDUCED BY EASEMENTS, BUFFERS OR DRIVES			0' LNFT
VEGETATED BUFFER LENGTH			1,515' LNFT
CANOPY TREES REQUIRED	1 / 20 LF		76' CAN TREES
CANOPY TREES PROVIDED			76' CAN TREES
ACCENT TREES REQUIRED	1 / 33 LF		46' ACC. TREES
ACCENT TREES PROVIDED			46' ACC. TREES
SHRUBS REQUIRED	1 / 4 LF		379' SHRUBS
SHRUBS PROVIDED			379' SHRUBS
WEST PROPERTY LINE @ INDUSTRIAL			
ABUTTING USE	IND	BUFFER TYPE	BUFFER WIDTH
		D	10'
BUFFER LENGTH			1,515' LNFT
REDUCED BY EASEMENTS, BUFFERS OR DRIVES			0' LNFT
VEGETATED BUFFER LENGTH			1,515' LNFT
CANOPY TREES REQUIRED	1 / 20 LF		76' CAN TREES
CANOPY TREES PROVIDED			76' CAN TREES
ACCENT TREES REQUIRED	1 / 33 LF		46' ACC. TREES
ACCENT TREES PROVIDED			46' ACC. TREES
SHRUBS REQUIRED	1 / 4 LF		379' SHRUBS
SHRUBS PROVIDED			379' SHRUBS


MASTER PLANT LIST					
CANOPY TREES AND PALMS					
NAME	COMMON	QUANTITY	SPECIFICATION	TREE POINTS	NATIVE
QUERCUS VIRGINIANA	LIVE OAK	201	12" HT, 5" SP, 3" CAL MIN.	301.5	NATIVE
LAGOSTROemia INDICA	CEPHE MYRTLE	129	10" HT, 4" SP, 2" CAL MIN.	129.0	NATIVE
LISSA AMERICANA	ELM	6	12" HT, 5" SP, 3" CAL MIN.	9.0	NATIVE
MAGNOLIA GRANDIFLORA	MAGNOLIA	3	12" HT, 5" SP, 3" CAL MIN.	4.5	NATIVE
MAHAGANI SWIETENIA	MAHOGANY	6	12" HT, 5" SP, 3" CAL MIN.	9.0	NATIVE
SABAL PALMETTO	SABAL PALM	12	12'-14' CT, MIN.	6.0	NATIVE
			TREE POINT TOTAL	459.0	
SHRUBS AND GROUND COVERS					
NAME	COMMON	QUANTITY	SPECIFICATION		NATIVE
MIRACANTHUS FRAGRANS	STOPPER	48	24" HT MIN., 1 GAL		NATIVE
CHRYSOBLANUS LADCO	COCOPALM	1054	24" HT MIN., 1 GAL		NATIVE
SPARTINA BAKERII	SAND CORO GRASS	591	12" HT, MIN., 1 GAL		NATIVE
MUHLENBERGIA CAPILLARIS	MUHLEY GRASS	1494	12" HT, MIN., 1 GAL		NATIVE
JUNIPERUS CHINENSIS	PARSONS JUNIPER	40	12" HT, MIN., 1 GAL		NON-NATIVE
PASPALUM NOTATUM	BAHIA SOD		SAND GROWN, ROLLED		
PINE STRAW MULCH			3" DEPTH COMPACTED		

TREE SPECIES MIX	
REQUIRED TREES	MIN. NUMBER OF SPECIES
11-20	2
21-30	3
31-40	4
41+	5

- (g) Maintenance.
- (1) Plantings, fences, walls, berms and irrigation systems required by this section must be maintained in good repair. Landscaped and buffer areas must be kept free of weeds, litter and debris.
  - (2) Damage to any of the landscaping or structures required by this section shall be replanted or replaced, as applicable, within ninety (90) days or one (1) growing season, whichever is sooner. Damage to a required fence or wall by a natural disaster shall be repaired within one hundred eighty (180) days.
  - (3) It is unlawful to violate any of the provisions of this section.
  - (4) The department may enforce compliance with this section as provided by law and may perform reasonable inspections to insure continued compliance.
  - (5) All required landscaping and buffers may be served by an automatic irrigation system designed to eliminate the application of water to impervious areas and reduce impacts to existing native vegetation. All required landscaping and buffers shall be irrigated during the establishment period. The applicant may use a temporary irrigation system or hand watering if the applicant can demonstrate that such an approach will provide adequate water for plant survival. All alternative plans of irrigation must be approved by the zoning official or his/her designee.
  - (6) Tree pruning shall be conducted according to the most recent edition of the National Arborist Association Standards.

Alterations to landscaping and buffers require the prior written permission of Charlotte County





**JOSEPH H. KELLEY, RLA, INC.**  
LANDSCAPE ARCHITECTURE AND LAND PLANNING  
3805 HANOVER ST., FORT MYERS, FL 33501  
JOSEPHKELLEY@COMCAST.NET

Joseph H Kelley  
Digitally signed by Joseph H Kelley  
Date: 2023.12.22 13:15:47 -05'00'

JOSEPH H. KELLEY, RLA  
LOCAL PROFESSIONAL LANDSCAPE ARCHITECT

# 25505 OLD LANDFILL ROAD

## STORAGE FACILITY, CHARLOTTE COUNTY FLORIDA

### INDUSTRIAL DEVELOPMENT

#### CODE REQUIRED MINIMUM LANDSCAPE PLAN

DATE: 09.24.2021  
DRAWN BY: JOSEPH KELLEY  
FILE NAME: OLD LANDFILL ROAD STORAGE-LS.DWG  
REVISION NOTES:  
10/10/2021 REV PER SITE PLAN CHANGES  
10/31/2021 REV PER REVIEW COMMENTS

SHEET NUMBER:  
L-1  
1 OF 5



"IT SHALL BE THE DEVELOPERS' RESPONSIBILITY TO PROTECT ALL COUNTY OWNED AND MAINTAINED FACILITIES. ANY/ALL COSTS ASSOCIATED WITH ALTERATIONS, RELOCATION OR REPAIRS MADE NECESSARY BY THIS DEVELOPMENT SHALL BE BORNE BY THE EITHER THE OWNER, DEVELOPER AND/OR CONTRACTOR. SPLICES IN THE FIBER OPTIC CABLE OR THE ADDITION OF ADDITIONAL PULL/JUNCTION BOXES WILL NOT BE PERMITTED. IN THE EVENT A CABLE IS CUT, DAMAGED OR REQUIRES RELOCATION, THE CABLE(S) SHALL BE RESTORED BACK TO THE ORIGINAL CONFIGURATION, ORIGINAL CONFIGURATION IS DEFINED AS SYSTEM STATUS, LAYOUT AND DESIGN PRIOR TO ANY WORK COMMENCING."

"A LIGHTING DISTRICT RIGHT OF WAY USE PERMIT WILL BE REQUIRED FOR ANY WORK ASSOCIATED WITH INSPECTION, RELOCATION OR THE REPAIR OF ANY EXISTING COUNTY OWNED OR MAINTAINED FACILITY WITHIN THE PLACIDA RD. PUBLIC RIGHTS-OF-WAY. SPECIFIC STIPULATIONS OR CONDITIONS WILL BE IMPOSED AT TIME OF PERMIT APPLICATION. IN THE EVENT COUNTY OWNED FACILITIES REQUIRE ALTERATIONS, RELOCATION AND/OR REPAIR, THAT WORK WILL BE PERFORMED BY CHARLOTTE COUNTY FORCES OR FORCES CONTRACTED BY OR APPROVED BY CHARLOTTE COUNTY TO MAKE THE NECESSARY CORRECTIONS. EITHER THE OWNER, DEVELOPER AND/OR CONTRACTOR WILL POST A CHECK IN AN AMOUNT SUFFICIENT TO COVER MENTIONED COSTS OR THE COSTS NEEDED TO INSPECT WORK TO ENSURE WORK PERFORMED WITHIN THE RIGHT-OF-WAY IS PERFORMED IN ACCORDANCE WITH AND ACCEPTABLE TO COUNTY AND FDOT STANDARDS. AN ESTIMATED AMOUNT WILL BE CALCULATED BASED UPON THE TYPE OF WORK REQUIRED. SHOULD THE COSTS TO ALTER, RELOCATE, REPAIR OR INSPECT EXCEED THE ESTIMATED AND POSTED AMOUNT, THE PERMIT HOLDER BY ACCEPTANCE OF THE PERMIT CONDITIONS, WILL BE CHARGED AND AGREE TO REIMBURSE CHARLOTTE COUNTY, ANY ADDITIONAL COSTS INCURRED. NO WORK SHALL COMMENCE UNTIL THIS CHECK IS POSTED AND NO CO WILL BE GIVEN UNTIL ANY OUTSTANDING MONIES DUE THE COUNTY ARE SETTLED."

**SITTI**  
ENGINEERING  
COMPLIANCE  
1/25/2024 DRC-23-00020

13650 FIDDELESTICKS  
BLVD STE 202-350  
FORT MYERS, FL 33912

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FLORIDA BOARD  
OF PROFESSIONAL ENGINEERS  
CERTIFICATE OF AUTHORIZATION No. 26007

1" = 60'

CHARLOTTE CO BOAT & RV STORAGE LLC  
2265 AUBURN BLVD  
PORT CHARLOTTE, FL 33948

25505 OLD LANDFILL RD  
CHARLOTTE COUNTY, FLORIDA

UTILITY PLAN

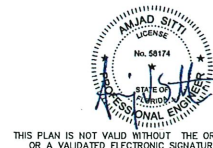
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SHEET NAME:

PROJECT NUMBER  
RKS001-21

SHEET NUMBER  
C-8.0

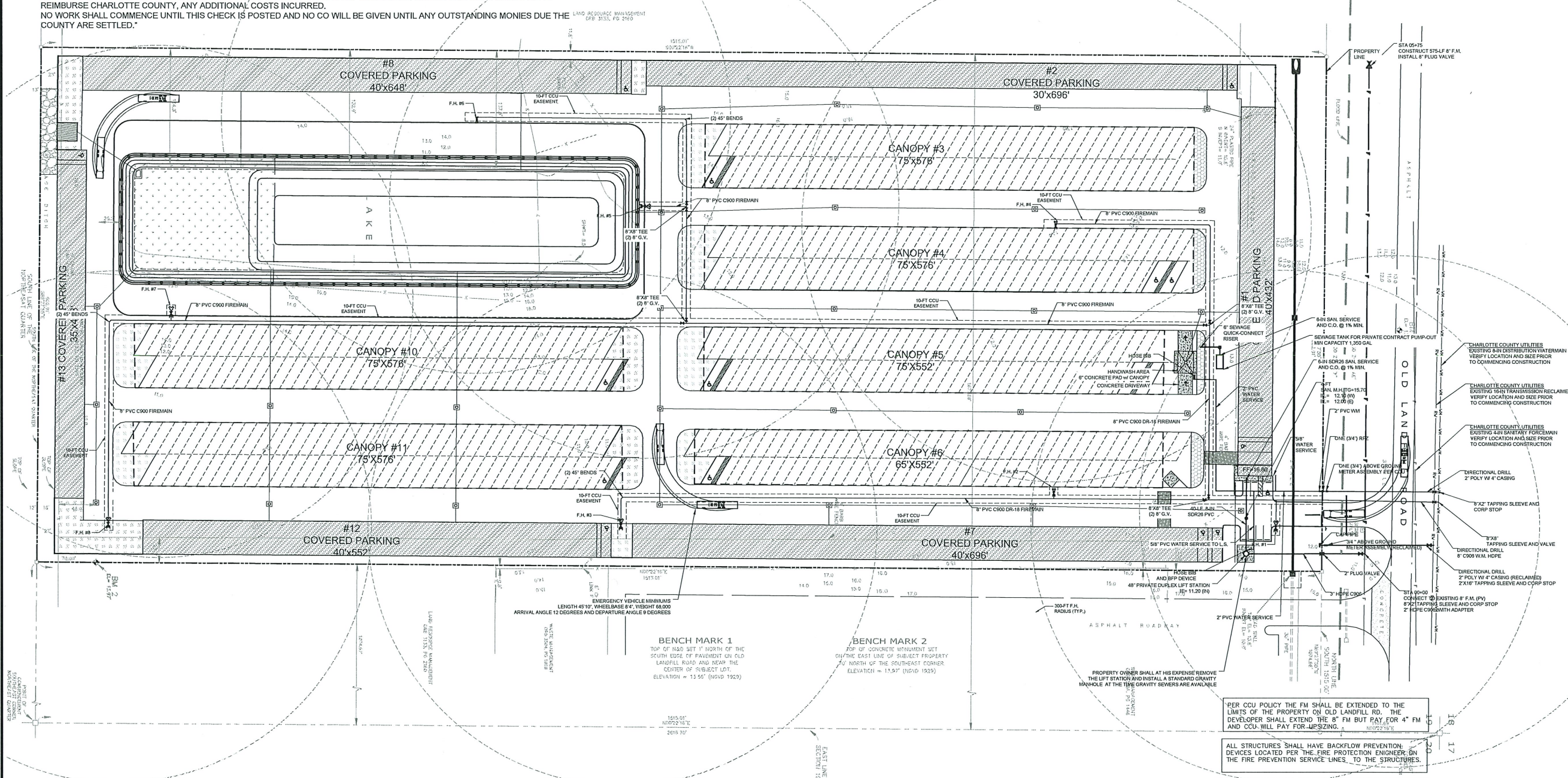
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DRC-23-00020  
CCU PROJECT NO. 22-1007  
SWFWM APPLICATION NO. 831563

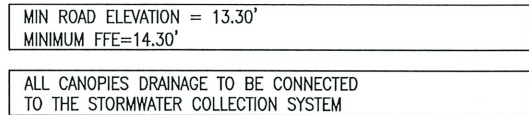


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BENCHMARKS, ELEVATIONS, AND AS-BUILTS FOR CHARLOTTE COUNTY UTILITIES SHALL BE TO THE NAVD-88 DATUM. TO CONVERT THE ELEVATIONS FROM THE NAVD-29 DATUM SUBTRACT 1.12

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY THAT ALL LOCAL, STATE, AND FEDERAL PERMITS ARE APPROVED AND IN-HAND PRIOR TO COMMENCING CONSTRUCTION





**REVIEWED FOR ENGINEERING COMPLIANCE**

**ENGINEERING GROUP**

*Land Development*

1/25/2024 DRC-23-00020

www.sitti.net  
projects@sitti.net

OF PROFESSIONAL ENGINEERS  
CERTIFICATE OF AUTHORIZATION No. 26

$$1'' = 60'$$

CHARLOTTE CO BOAT & RV STORAGE LLC  
2265 AUBURN BLVD  
PORT CHARLOTTE, FL 33948

NAME: 25505 OLD LANDFILL RD  
CHARLOTTE COUNTY, FLORIDA  
NAME: GRADING AND DRAINAGE PLAN

RKS001-21

SHEET NUMBER

C-5.0

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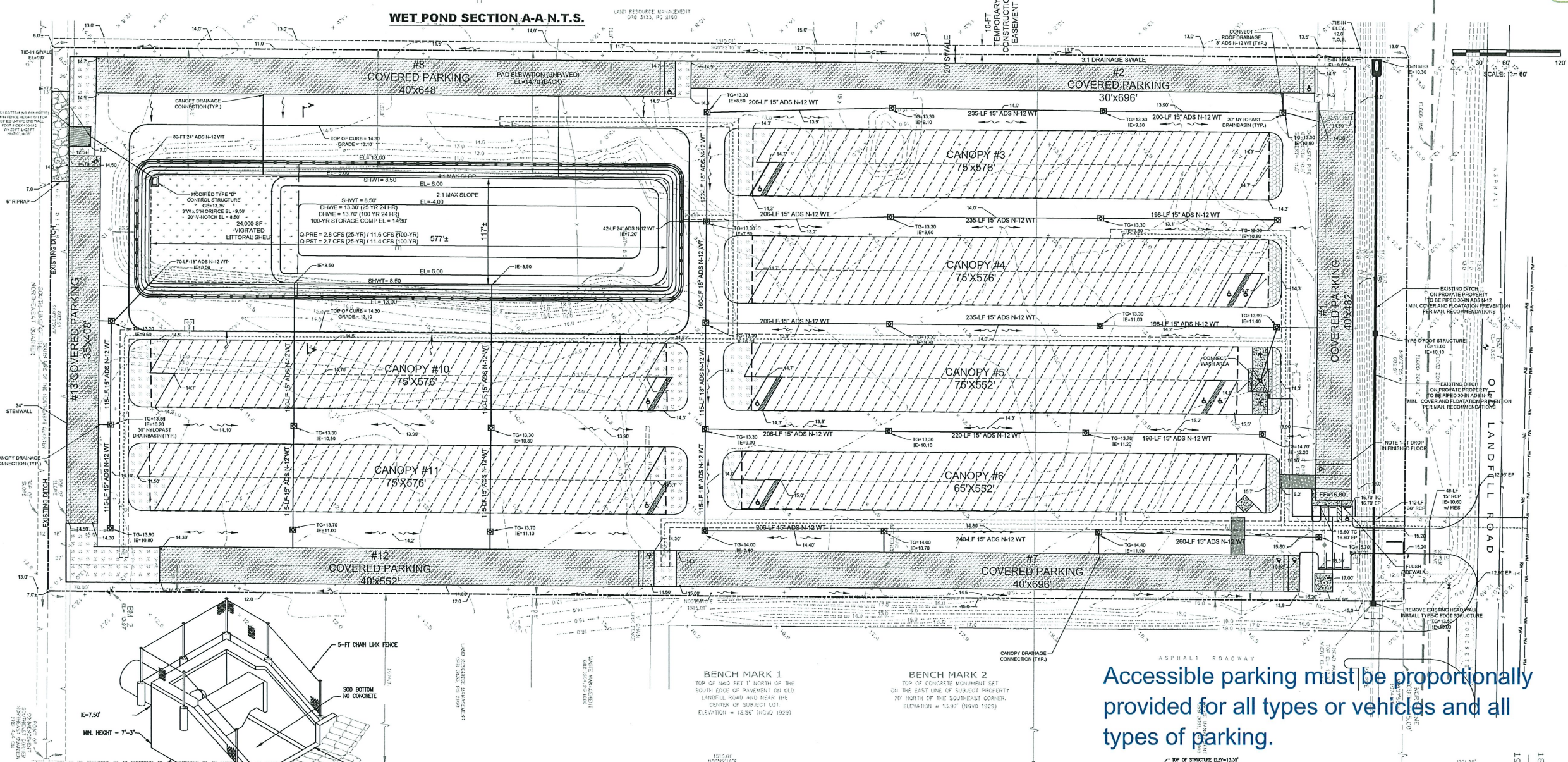
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-05'00'

AMJAD SITT  
LICENSE  
No. 58174

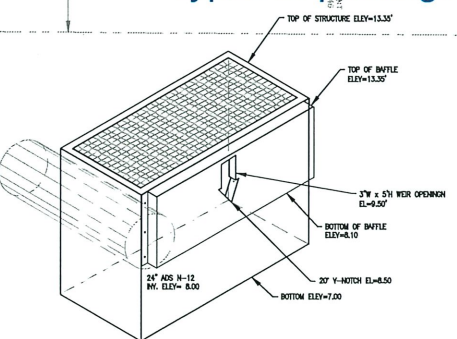
STATE OF  
PENNSYLVANIA  
JAN 24 2024  
DIGITAL ENVIRONMENT

THIS PLAN IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL;  
OR A VALIDATED ELECTRONIC SIGNATURE FOR DIGITAL DOCUMENTS.

AMJAD SITT, PE  
Florida License No. 58174



Accessible parking must be proportionally provided for all types of vehicles and all types of parking.



**OUTFALL CONTROL STRUCTURE**  
TYPE D  
NOT TO SCALE

DRC-23-00020  
CCU PROJECT NO. 22-1007  
SWEWMD APPLICATION NO. 831563

**IMPORTANT NOTE:**  
ELEVATIONS SHOWN ON THIS SHEET IS SHOWN TO THE SUPPLIED SURVEY P.M. IN THE NAD83 DATUM



Know what's below.  
Call before you dig.  
48 HOURS BEFORE DIGGING

**CLOSURE AND DISPOSAL:**

1. ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL SHALL BE REMOVED FROM SITE IN THE EVENT OF THE CONSTRUCTION SITE IS ABANDONED PRIOR TO PROJECT COMPLETION.
2. VEGETATION FROM CLEARING AND GRUBBING WILL BE DISPOSED OFF SITE IN LEGAL MANNER.

IT SHALL BE THE DEVELOPERS' RESPONSIBILITY TO PROTECT ALL COUNTY OWNED AND MAINTAINED FACILITIES. ANY/ALL COSTS ASSOCIATED WITH ALTERATIONS, RELOCATION OR REPAIRS MADE NECESSARY BY THIS DEVELOPMENT SHALL BE BORNE BY THE EITHER THE OWNER, DEVELOPER AND/OR CONTRACTOR. SPLICES IN THE FIBER OPTIC CABLE OR THE ADDITION OF ADDITIONAL PULL/JUNCTION BOXES WILL NOT BE PERMITTED. IN THE EVENT A CABLE IS CUT, DAMAGED OR REQUIRES RELOCATION, THE CABLE(S) SHALL BE RESTORED BACK TO THE ORIGINAL CONFIGURATION. ORIGINAL CONFIGURATION IS DEFINED AS SYSTEM STATUS, LAYOUT AND DESIGN PRIOR TO ANY WORK COMMENCING."

NO WORK SHALL COMMENCE UNTIL THIS CHECK IS POSTED AND NO CO WILL BE GIVEN UNTIL ANY WORKS QUALIFY FOR A PERMIT.